

# DISTRICT SPECIFICATION DS2: BELCONNEN

---

District specifications contains provisions that support compliance with requirements for undertaking development. These provisions assist proponents to prepare their development proposals with respect to some of the required outcomes. District specifications can provide possible solutions for identified aspects of a development proposal or certainty for that proposal. District specifications may also be used as a reference or benchmark for technical matters in the preparation and assessment of development proposals.

Where a proposed development complies with a relevant provision in the district specifications and the specification comprehensively addresses the outcome, further assessment regarding those specific provisions will not be required.

The Territory Planning Authority may consider endorsement or written support from an entity or utility service provider to demonstrate compliance with an outcome that relates to services or utilities.

The district specifications for Belconnen District comprises specifications for specific localities; the specifications are structured according to the localities.

Each provision comprises a *control* and a *specification*.

- **Control** refers to the general issue that the specification deals with.
- **Specification** suggests a possible solution that supports compliance with the particular issue or provision.

The following district specifications could be referred to when demonstrating compliance with the Territory Plan.

These specifications will only apply to the specific sites or locations they refer to and should be used in conjunction with the relevant district policy, i.e., *Part D2: Belconnen District Policy*.

### **1.1 Aranda**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Aranda:

There are no specific development and site controls for this locality.

---

### **1.2 Belconnen District**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in the Belconnen District:

There are no specific development and site controls for this locality.

---

### **1.3 Belconnen**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Belconnen:

There are no specific development and site controls for this locality.

---

### **1.4 Bruce**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Bruce:

There are no specific development and site controls for this locality.

---

### **1.5 Charnwood**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Charnwood:

There are no specific development and site controls for this locality.

---

### **1.6 Evatt**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Evatt:

There are no specific development and site controls for this locality.

---

### **1.7 Fraser**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Fraser:

There are no specific development and site controls for this locality.

---

### **1.8 Giralang**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Giralang:

There are no specific development and site controls for this locality.

---

### **1.9 Hawker**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Hawker:

There are no specific development and site controls for this locality.

---

### **1.10 Holt**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Holt:

There are no specific development and site controls for this locality.

---

### **1.11 Kaleen**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Kaleen:

There are no specific development and site controls for this locality.

---

### **1.12 Latham**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Latham:

There are no specific development and site controls for this locality.

---

### **1.13 Macgregor**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Macgregor:

There are no specific development and site controls for this locality.

---

### **1.14 Macquarie**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Macquarie:

There are no specific development and site controls for this locality.

---

### **1.15 McKellar**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in McKellar:

There are no specific development and site controls for this locality.

---

### **1.16 Melba**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Melba:

There are no specific development and site controls for this locality.

---

### **1.17 Scullin**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Scullin:

There are no specific development and site controls for this locality.

---

### **1.18 Strathnairn**

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Strathnairn:

**Control:** Number of storeys

**Specification:**

1. The number of storeys for blocks or parcels in locations identified in figures 5, 6, 7, 8, 9, 10 and 11 associated with the Strathnairn Suburb Map are nominated in those figures.
- 

**Control:** Minimum boundary setbacks

**Specification:**

2. Minimum boundary setbacks, other than setbacks for garages and/or carports, to lower floor level and/or upper floor level are identified in figures 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23 and 24 associated with the Strathnairn Suburb Map.
  3. Minimum setback requirements to garage/ carport/ surveillance unit for blocks in figures 5, 6, 7, 8, 9, 10, 11, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22 and 23 associated with the Strathnairn Suburb Map are nominated in those figures.
- 

**Control:** Maximum length of walls

**Specification:**

4. Maximum length of wall at nominated setback to blocks or parcels in locations identified in figures 5, 8, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 23 and 24 associated with the Strathnairn Suburb Map cannot exceed nominated length nominated in those figures.
- 

**Control:** Fencing and landscaping

**Specification:**

5. Fencing and landscaping to blocks and parcels identified in Figure 22 associated with the Strathnairn Suburb Map complies with all of the following:
    - a) a 1.8 metre solid timber lapped and capped fence on the boundary with a 4.5 metre high mesh fence within the block as close to the timber fence as possible
-

## CONSULTATION DRAFT FOR COMMENT

- b) mesh fence includes evergreen climbing planting
  - c) a 3 metre planting area from the mesh fence into the block
- 

### Control: Principal private open spaces and daytime living areas

#### Specification:

- 6. The minimum dimensions or area of principal private open space for blocks or parcels in locations identified in figures 5, 10, 11,12, 13, 16, 19, 20, 23 and 24 associated with the Strathnairn Suburb Map are nominated in those figures. In addition, at least one area of principal private open space on the block complies with all the following:
    - a) directly accessible from, and adjacent to, a habitable room other than a bedroom
    - b) screened from adjoining public streets and public open space
    - c) located behind the building line, except where enclosed by a courtyard wall
    - d) is not located to the south, south-east or south-west of the dwelling, unless it achieves not less than 3 hours of direct sunlight onto 50% of the minimum principal private open space area between the hours of 9am and 3pm on the winter solstice (21 June).
  - 7. Where nominated at Upper Floor Level principal private open space is not less than 12m<sup>2</sup>.
  - 8. Principal private open space and daytime living area to blocks or parcels in locations identified in Figure 22 associated with the Strathnairn Suburb Map is to be located on the western side of the block.
  - 9. Landscaping screening treatments to blocks or parcels identified in Figure 22 and 23 associated with the Strathnairn Suburb Map are to be a minimum 1.8m high to principal private open space.
- 

### Control: Rainwater tanks

#### Specification:

- 10. Standard blocks are subject to water tank size requirements as follows:

Block Size (m <sup>2</sup> )	Minimum tank size (kL)
0 ≤ 250	0
> 250 - 350	2
> 350 - 599	4
> 599 - 800	8
> 800	10

- 11. Rainwater tanks are installed in accordance with minimum roof capture areas and internal and external connection requirements.
  - 12. Rainwater tanks on block or parcels identified in figures 13, 14, 16, 20, 22 and 23 associated with the Strathnairn Suburb Map are installed in accordance with the relevant provisions of Housing Design Guide.
- 

### Control: On-site parking

#### Specification:

- 13. One onsite parking space only is required for blocks or parcels in locations identified in Figures 5, 6, 10, 12, 13, 21, 22, 23 and 24 associated with the Strathnairn Suburb Map.
- 

### Control: Garages and carports

#### Specification:

- 14. Garage/carports to blocks or parcels identified in Figure 22 associated with the Strathnairn Suburb Map are not to directly address Sally Ross Way and Speldewinde Street.
-

## CONSULTATION DRAFT FOR COMMENT

### Control: Gates, letterboxes and fences

#### Specification:

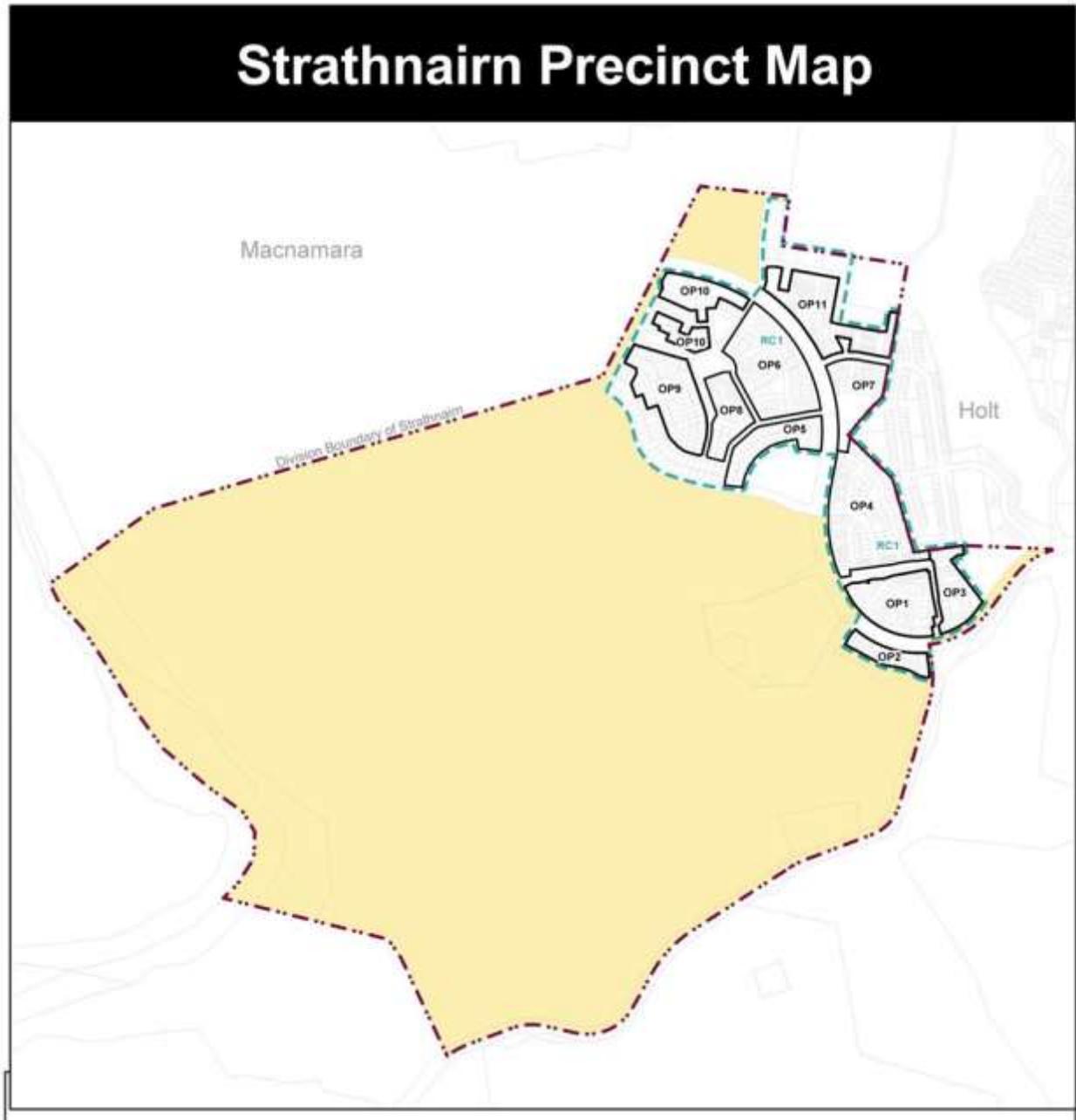
15. An access gate to open space is provided to blocks or parcels in locations identified in Figures 5, 6, 8, 9 and 11 associated with the Strathnairn Suburb Map.
  16. The location of gate, street address and letterbox to blocks or parcels identified in Figures 13, 14, 15, 17 and 21 associated with the Strathnairn Suburb Map are nominated in those Figures.
  17. Construction materials for fences on blocks or parcels in locations identified in Figure 3 associated with the Strathnairn Suburb Map are a combination of solid and semi-transparent elements as follows:
    - a) Masonry or stonework
    - b) If over 600mm in height to include infill panels that are semi-transparent using materials such as dressed hardwood timber or powder coated aluminium slats (openings to be minimum 10mm)
    - c) The following materials/ fencing are not permitted: Paling fence, Chain mesh fencing, Colorbond fence, Untreated timber slat fencing, Timber sleepers, Brush fencing. Fences are to be constructed in accordance with Table 1 associated with the Strathnairn Suburb Map.
  18. Construction materials for fences on blocks or parcels identified in Figure 4 associated with the Strathnairn Suburb Map are to be a combination of solid and semi-transparent elements as follows:
    - a) Masonry, stonework or a combination of raised garden beds of minimum of 400mm high with hedging
    - b) If over 600mm in height to include infill panels that are semi-transparent using materials such as dressed hardwood timber or powder coated aluminium slats (openings to be minimum 10mm)
    - c) The following materials/ fencing are not permitted: Paling fence, Chain mesh fencing, Colorbond fence, Untreated timber slat fencing, Timber sleepers, Brush fencing. Fences are to be constructed in accordance with Table 2 associated with the Strathnairn Suburb Map.
- 

### Control: Additional specifications

#### Specification:

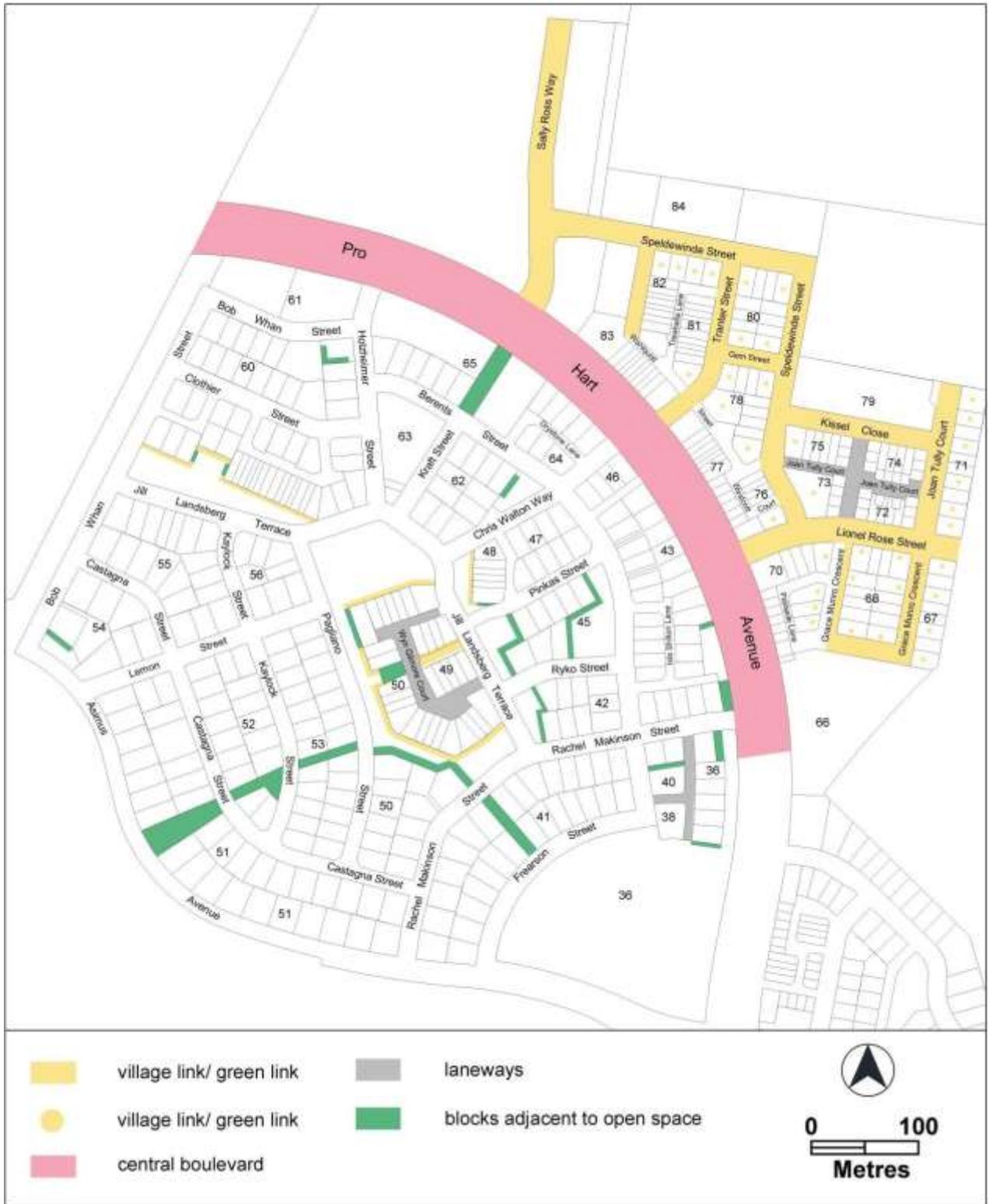
19. Nominated blocks or parcels in locations identified in figures 13, 14, 15 and 17 associated with the Strathnairn Suburb Map are exempt from solar building provisions in the Housing Design Guide
  20. Blocks identified as Integrated Development Parcels are exempt from the solar envelope provisions of the Housing Design Guide.
  21. There is no maximum number of home business applicable to Block 6 section 16 Strathnairn.
-

FIGURES ASSOCIATED WITH STRATHNAIRN ASSESSMENT REQUIREMENTS



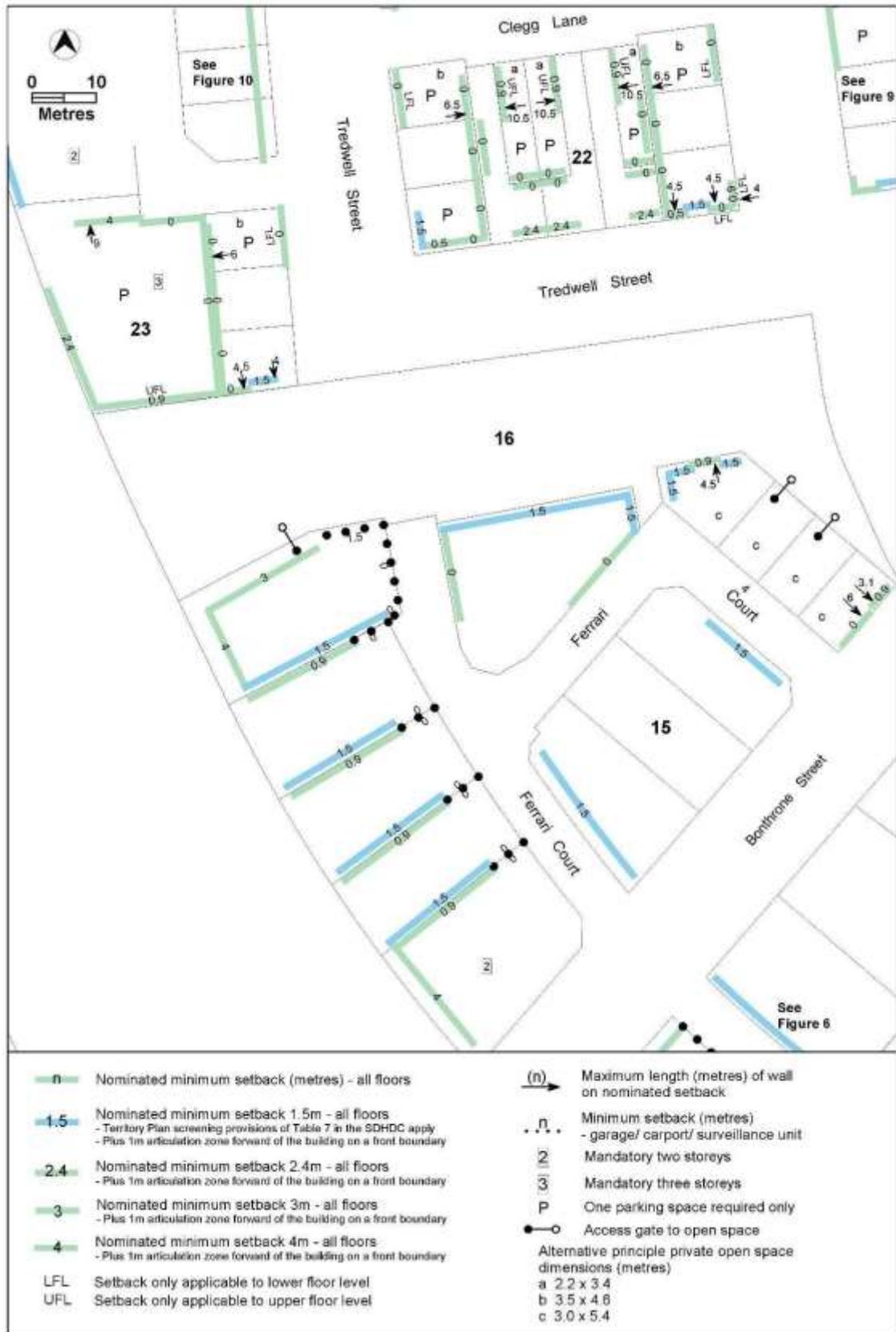


**Figure 3 – Associated with the Strathnairn Suburb Map**



**Figure 4 – Associated with the Strathnairn Suburb Map**

**CONSULTATION DRAFT FOR COMMENT**



**Figure 5 – Associated with the Strathnairn Suburb Map**

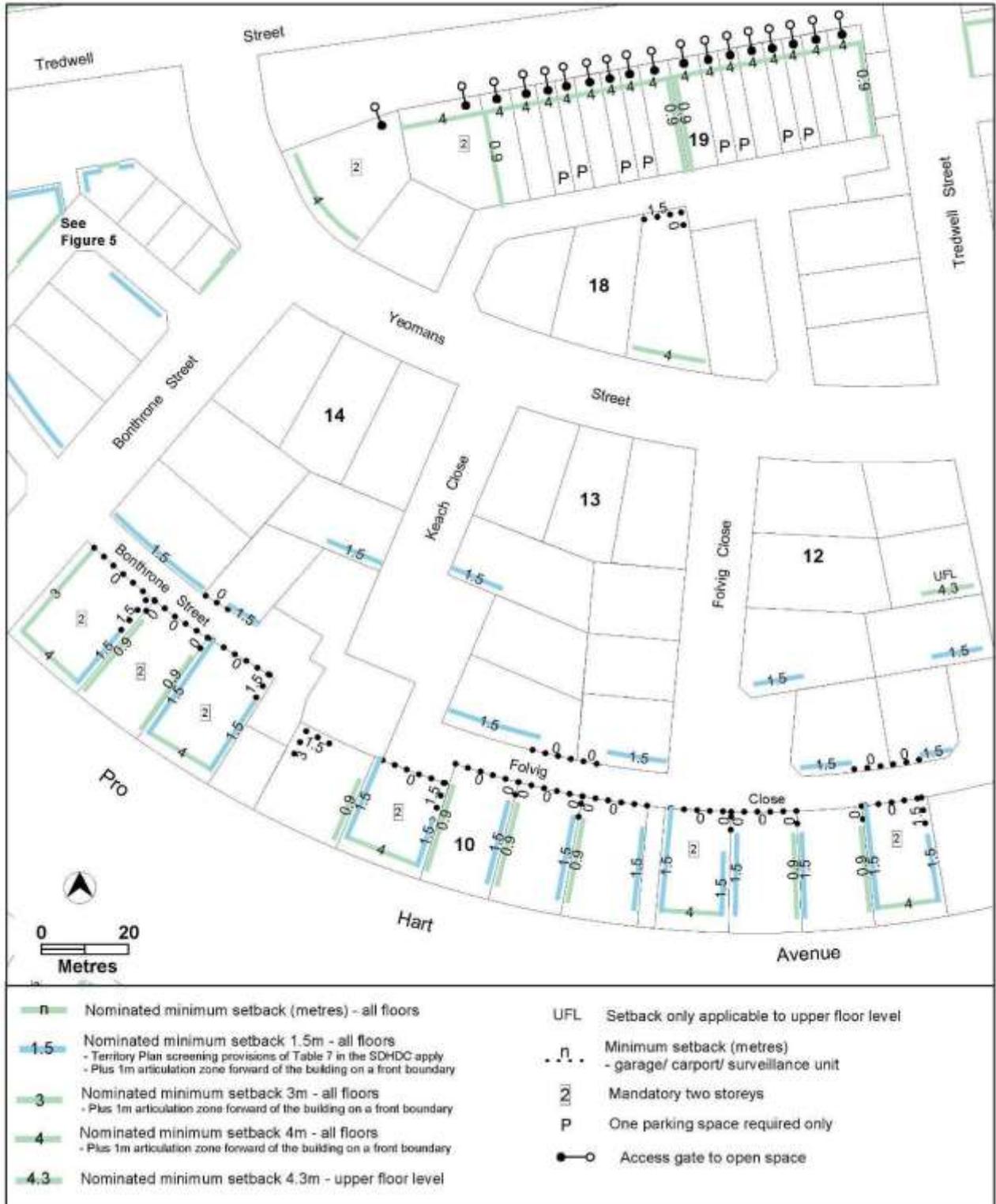


Figure 6 – Associated with the Strathnairn Suburb Map

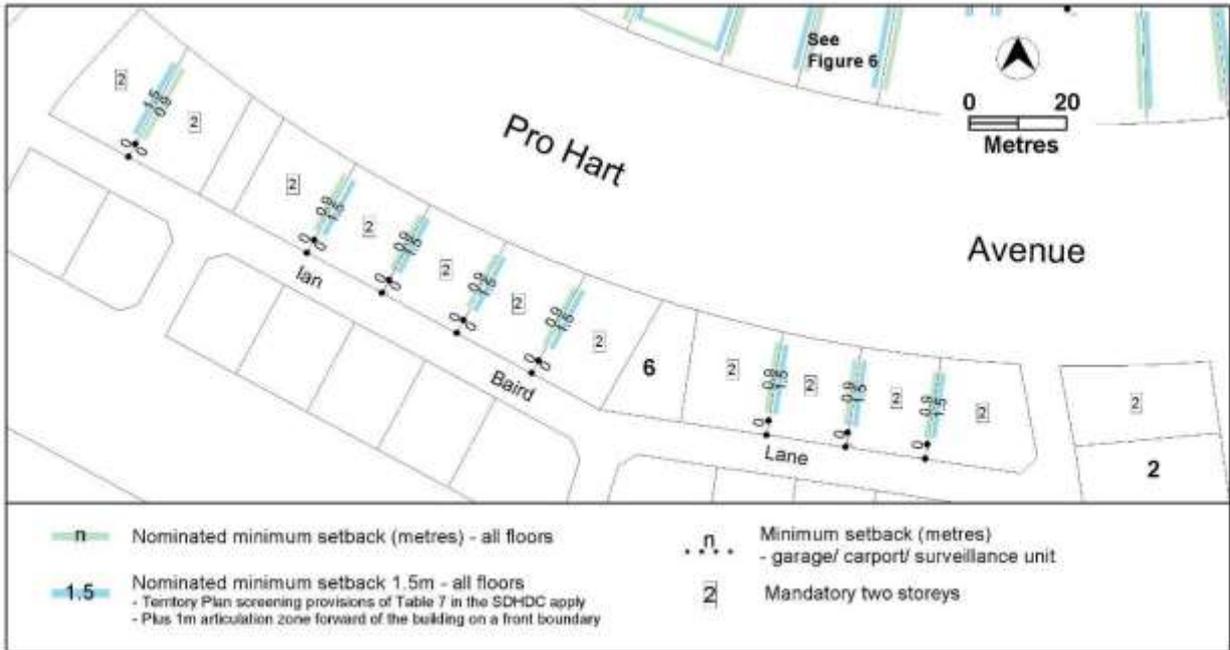


Figure 7 – Associated with the Strathnairn Suburb Map

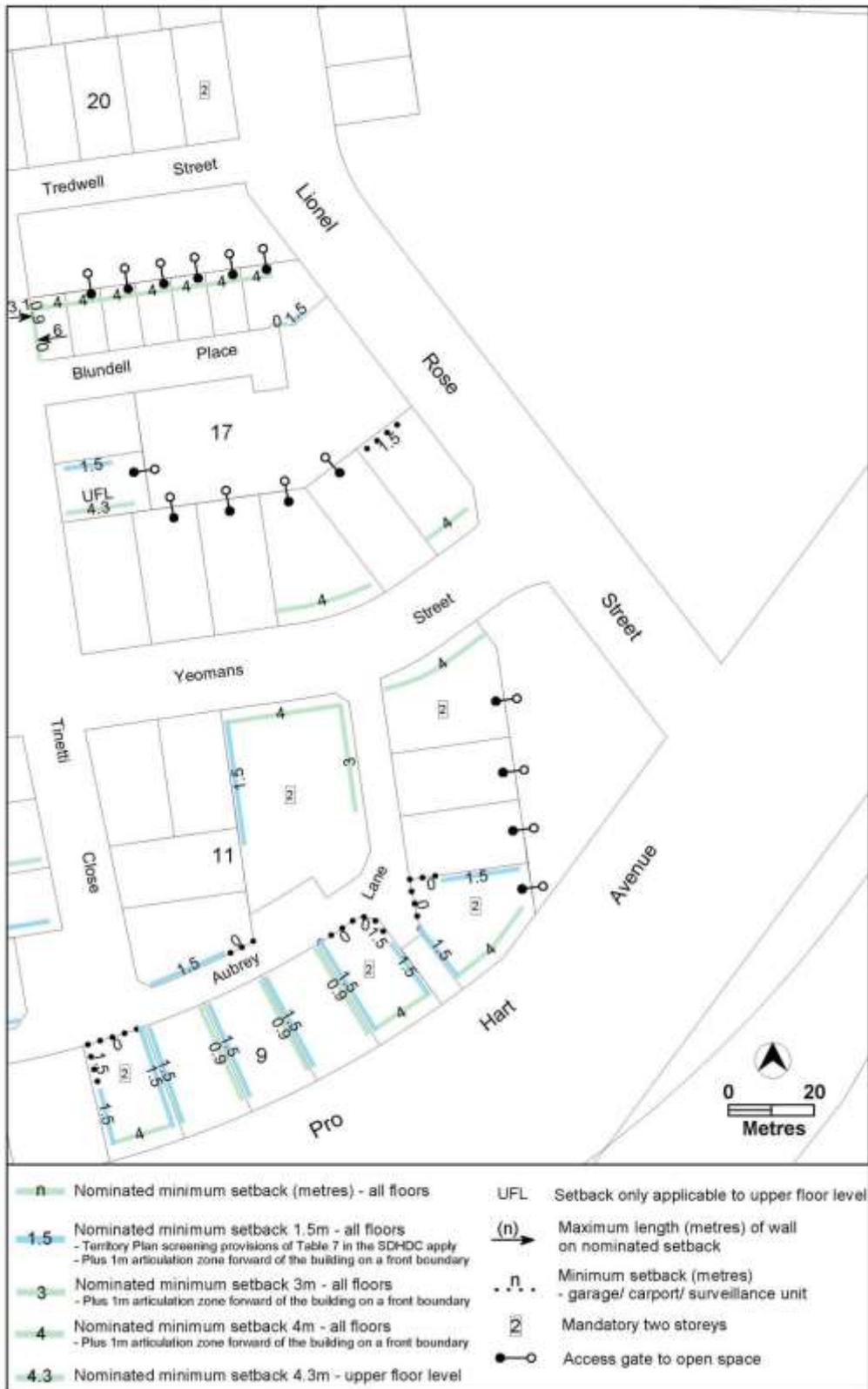


Figure 8 – Associated with the Strathnairn Suburb Map



Figure 8 – Associated with the Strathnairn Suburb Map



Figure 9 – Associated with the Strathnairn Suburb Map

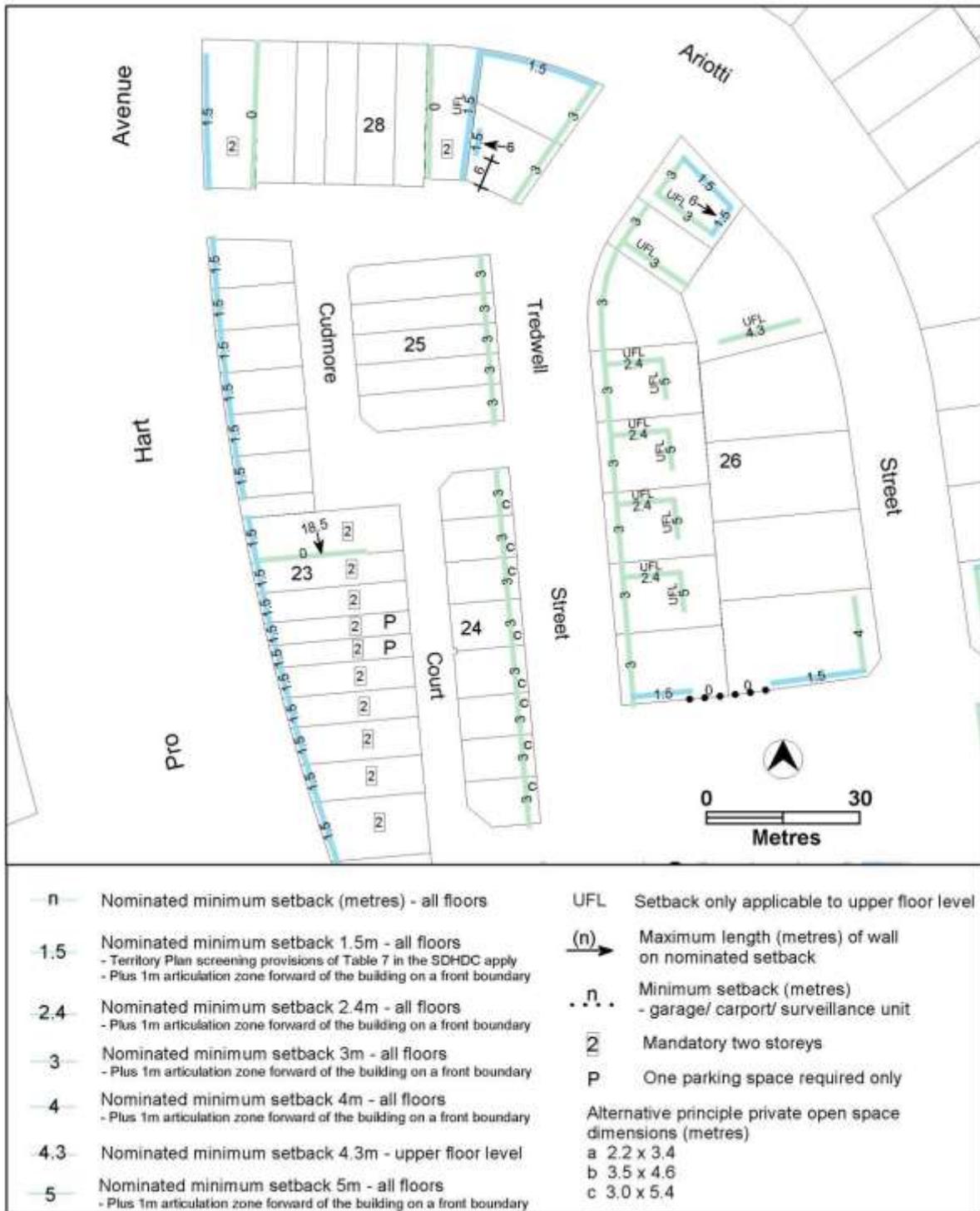
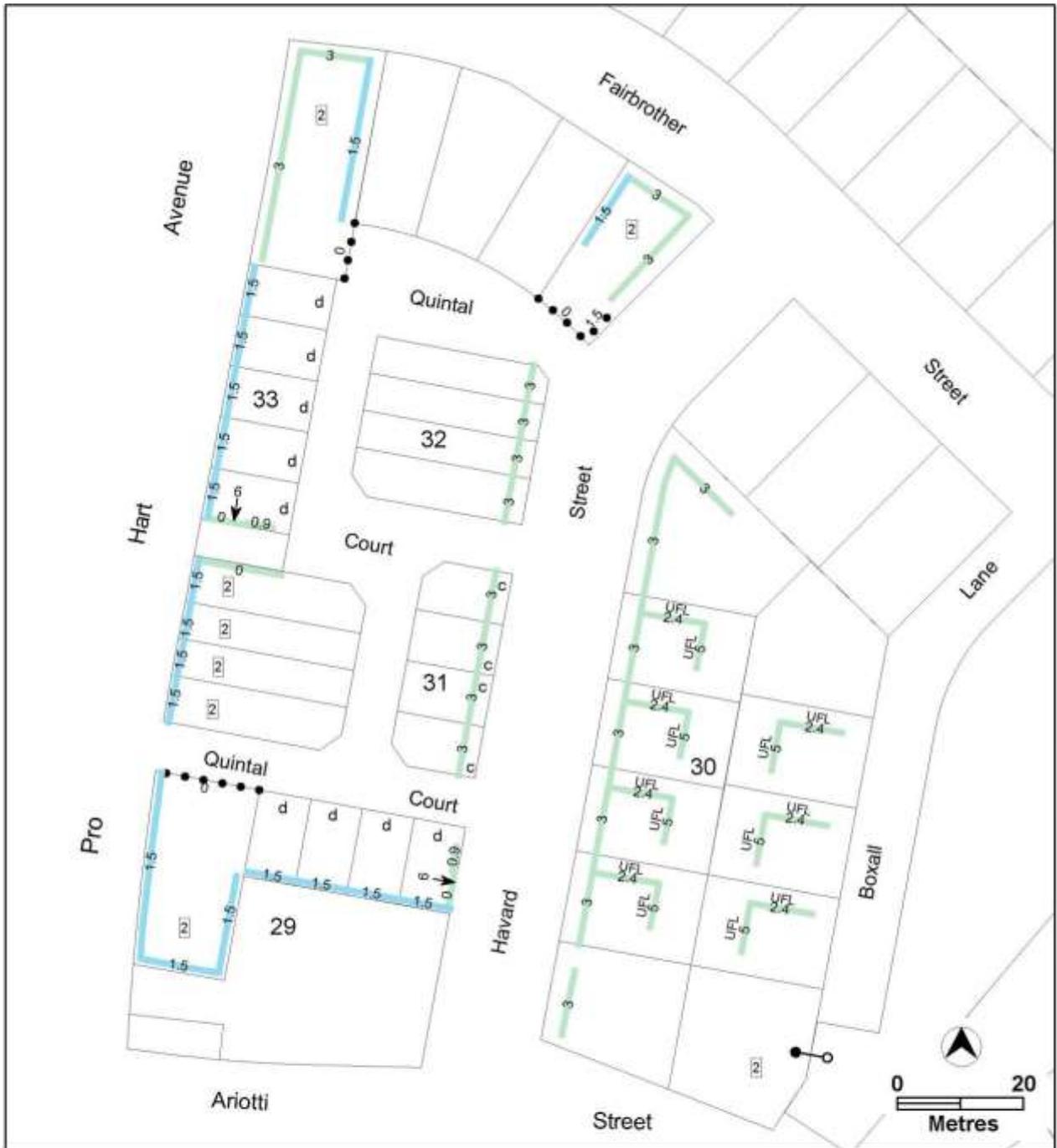


Figure 10 – Associated with the Strathnairn Suburb Map



- |       |  |       |  |
|-------|--|-------|--|
| — n — | Nominated minimum setback (metres) - all floors  | (n) → | Maximum length (metres) of wall on nominated setback   |
| 1.5   | Nominated minimum setback 1.5m - all floors<br>- Territory Plan screening provisions of Table 7 in the SDHC apply<br>- Plus 1m articulation zone forward of the building on a front boundary | . n . | Minimum setback (metres)<br>- garage/ carport/ surveillance unit   |
| 2.4   | Nominated minimum setback 2.4m - all floors<br>- Plus 1m articulation zone forward of the building on a front boundary   | 2     | Mandatory two storeys  |
| 3     | Nominated minimum setback 3m - all floors<br>- Plus 1m articulation zone forward of the building on a front boundary   | ●—○   | Access gate to open space  |
| 5     | Nominated minimum setback 5m - all floors<br>- Plus 1m articulation zone forward of the building on a front boundary   |       | Alternative principle private open space dimensions (metres)<br>a 2.2 x 3.4    c 3.0 x 5.4<br>b 3.5 x 4.6    d 3.0 x 4.5 |
| UFL   | Setback only applicable to upper floor level   |       |  |

Figure 11 – Associated with the Strathnairn Suburb Map

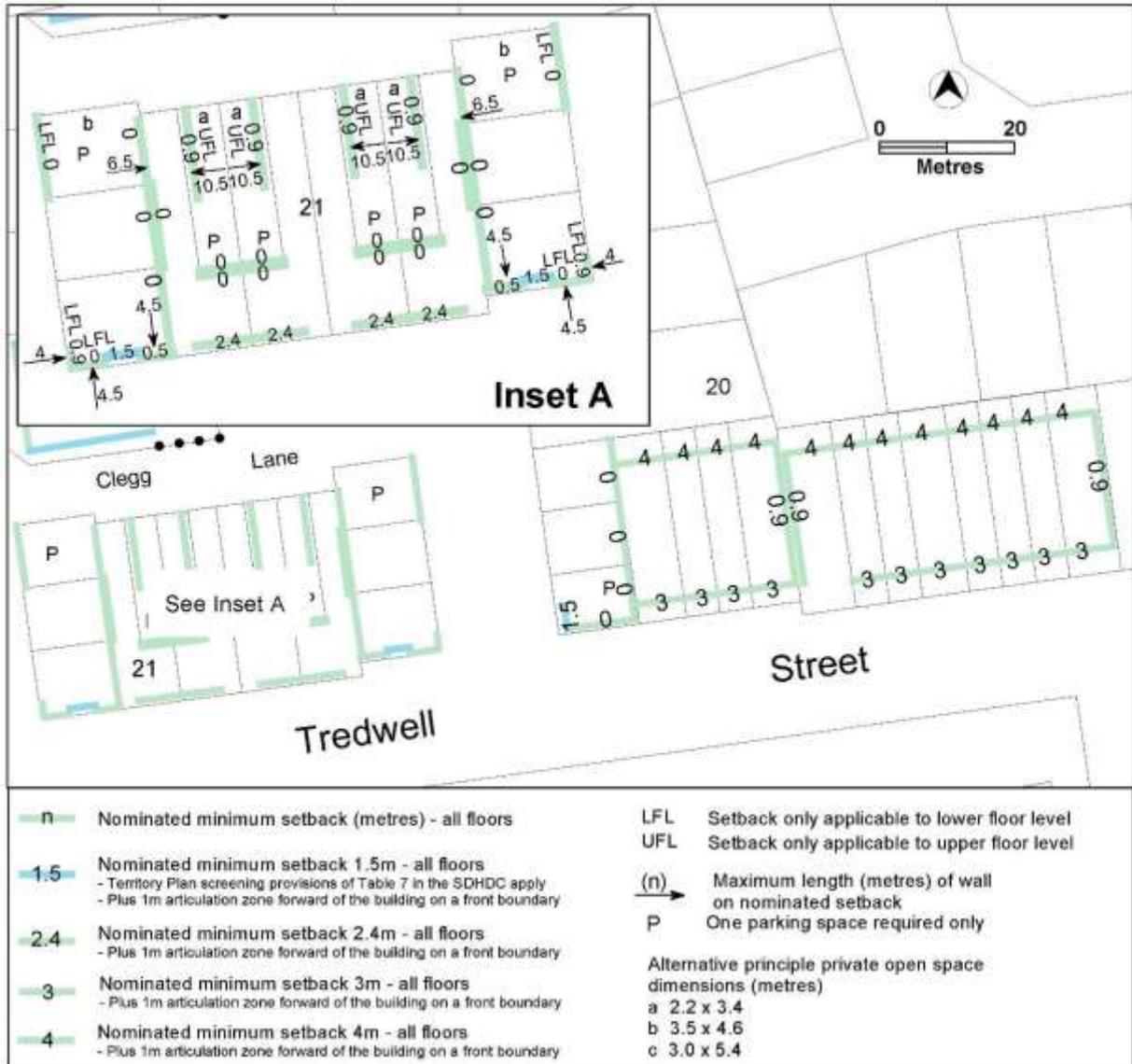
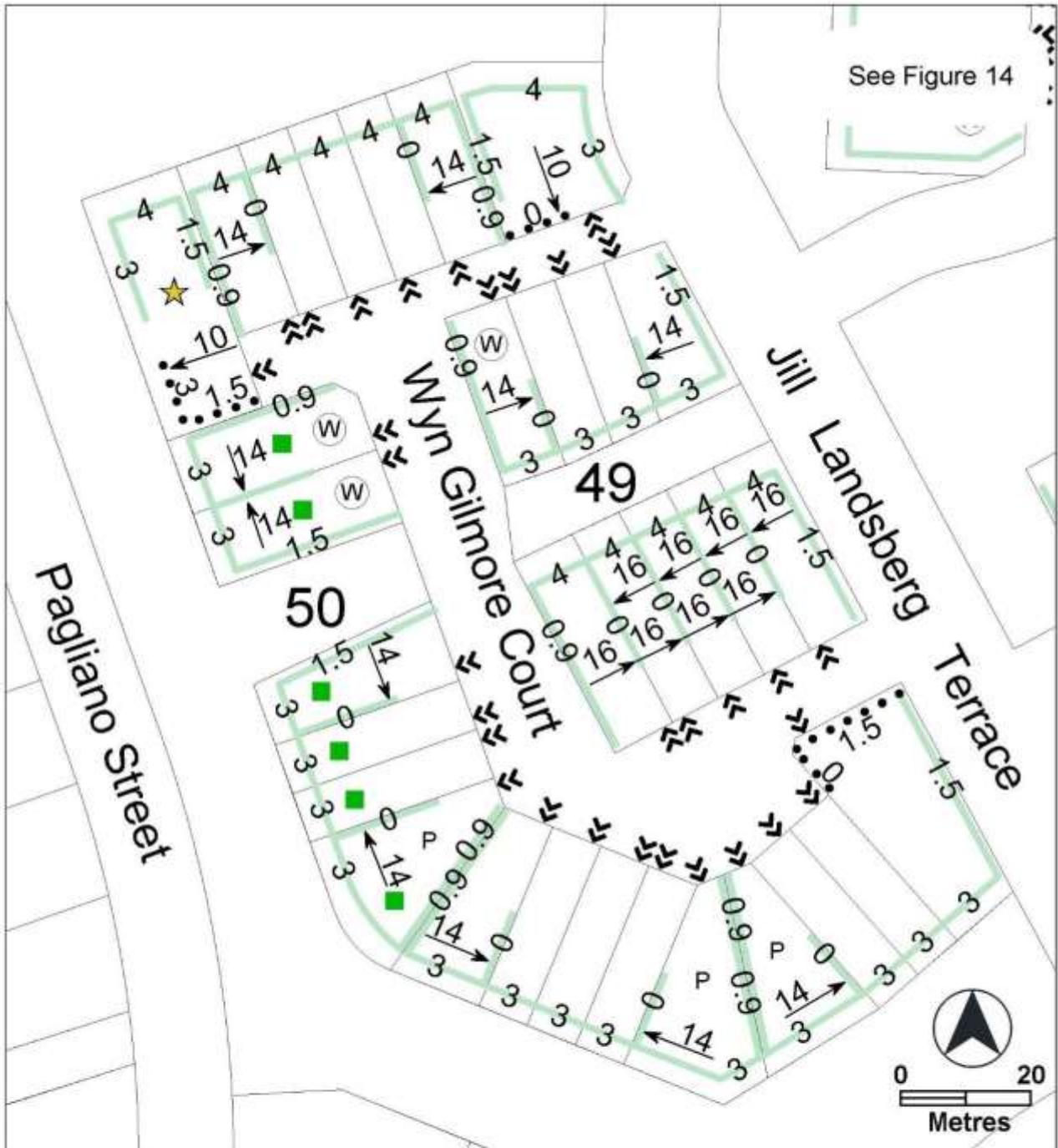


Figure 12 – Associated with the Strathnairn Suburb Map



- Nominated minimum setback (metres) - all floors  
- Articulation elements into front setback permitted where front setback is at least 3 metres
- Minimum setback (metres)  
- garage/ carport/ surveillance unit
- Maximum length (metres) of wall on nominated setback  
- length of wall measured from the minimum front boundary setback
- One parking space required only
- Gate, street address and letterbox to be off lane
- WSUD Water Tank Provisions  
- as per R43 in the Single Dwelling Housing Development Code
- Multi Unit Site  
- Exempt from Rule and Criteria 26 Solar Building Envelope in the Multi Unit Housing Development Code
- Principle private open space at Upper Floor Level  
- PPOS is permitted at upper floor achieving a minimum area of 12m<sup>2</sup>

**CONSULTATION DRAFT FOR COMMENT**

Figure 13 – Associated with the Strathnairn Suburb Map

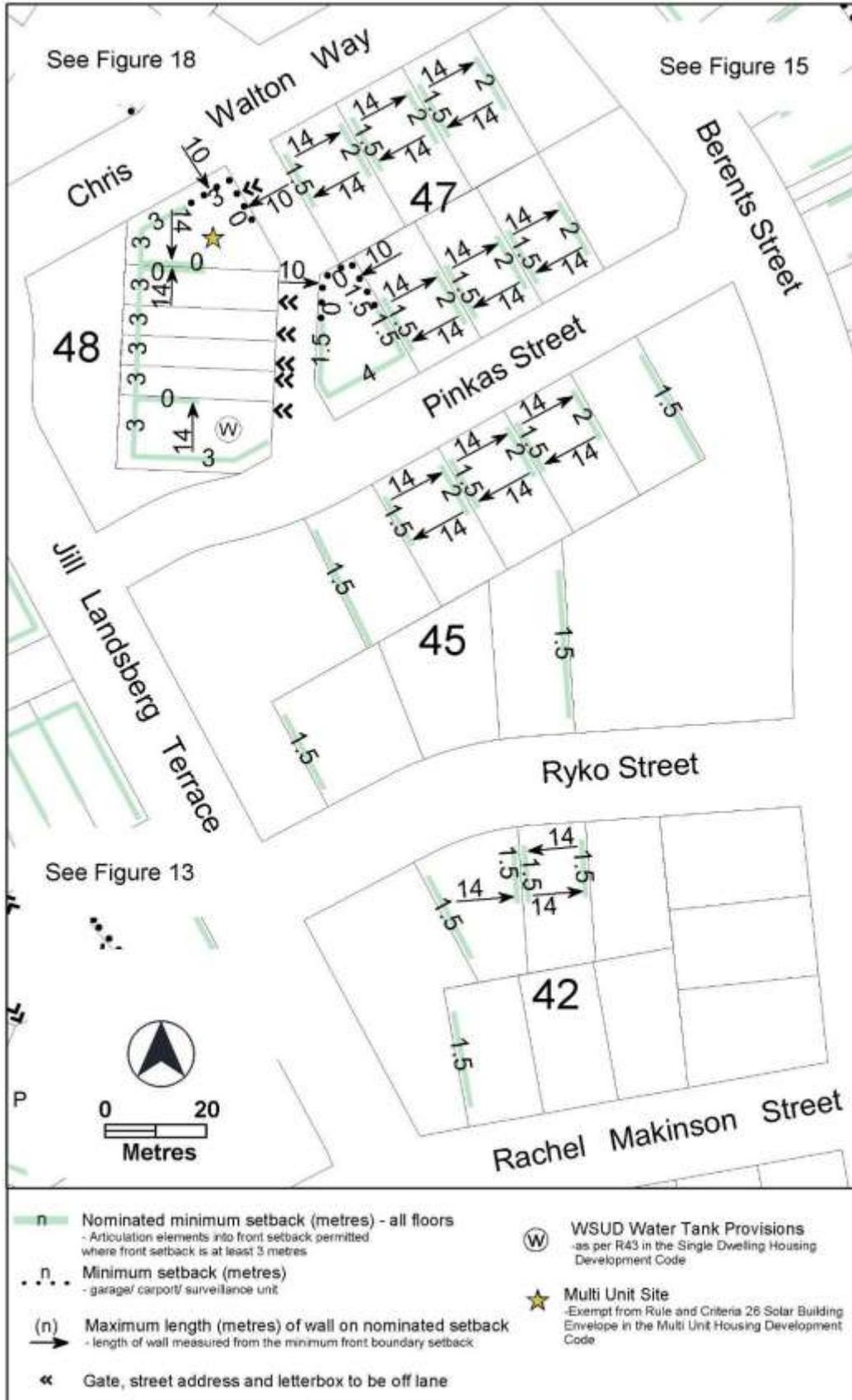
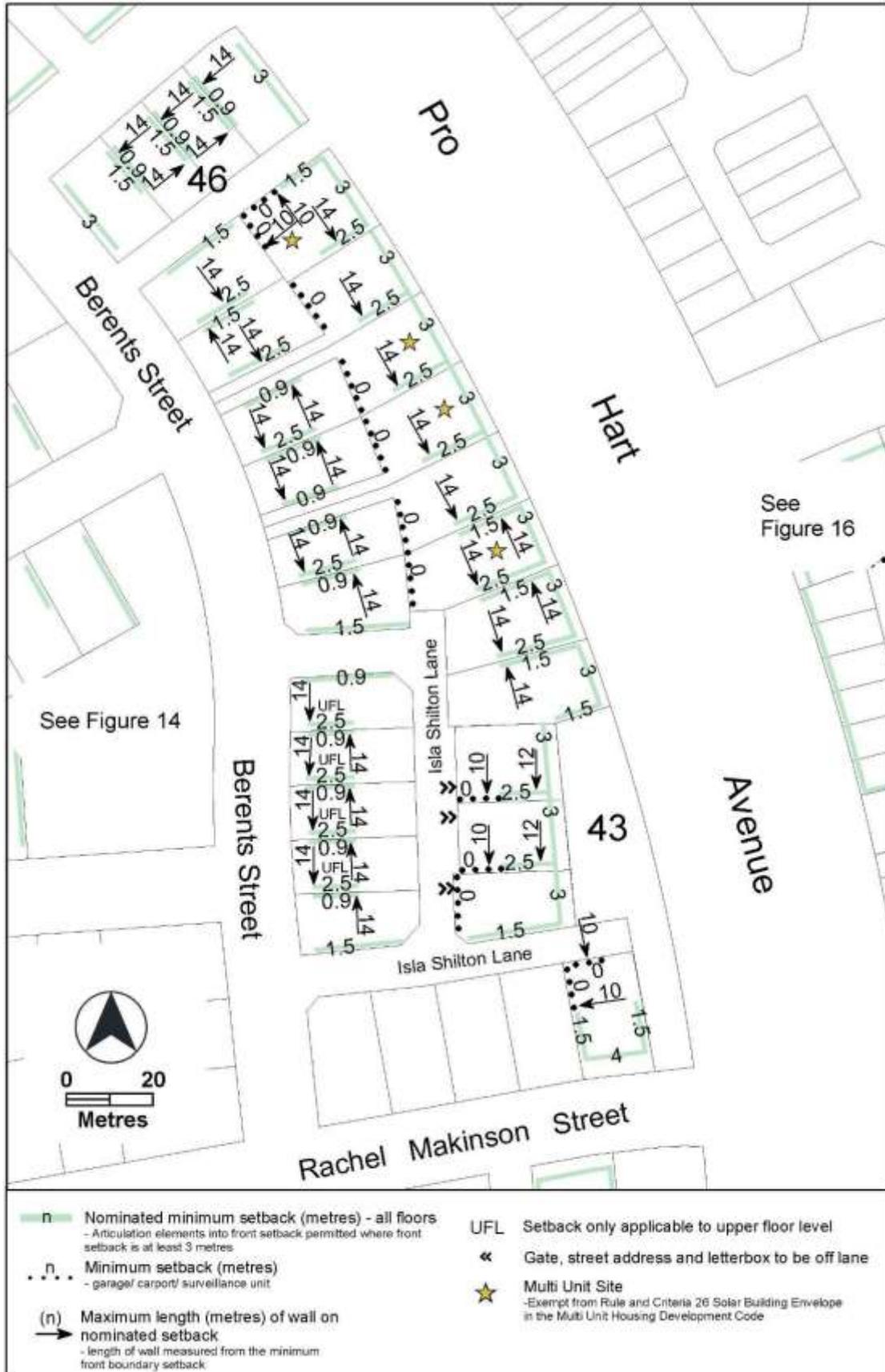


Figure 14 – Associated with the Strathnairn Suburb Map





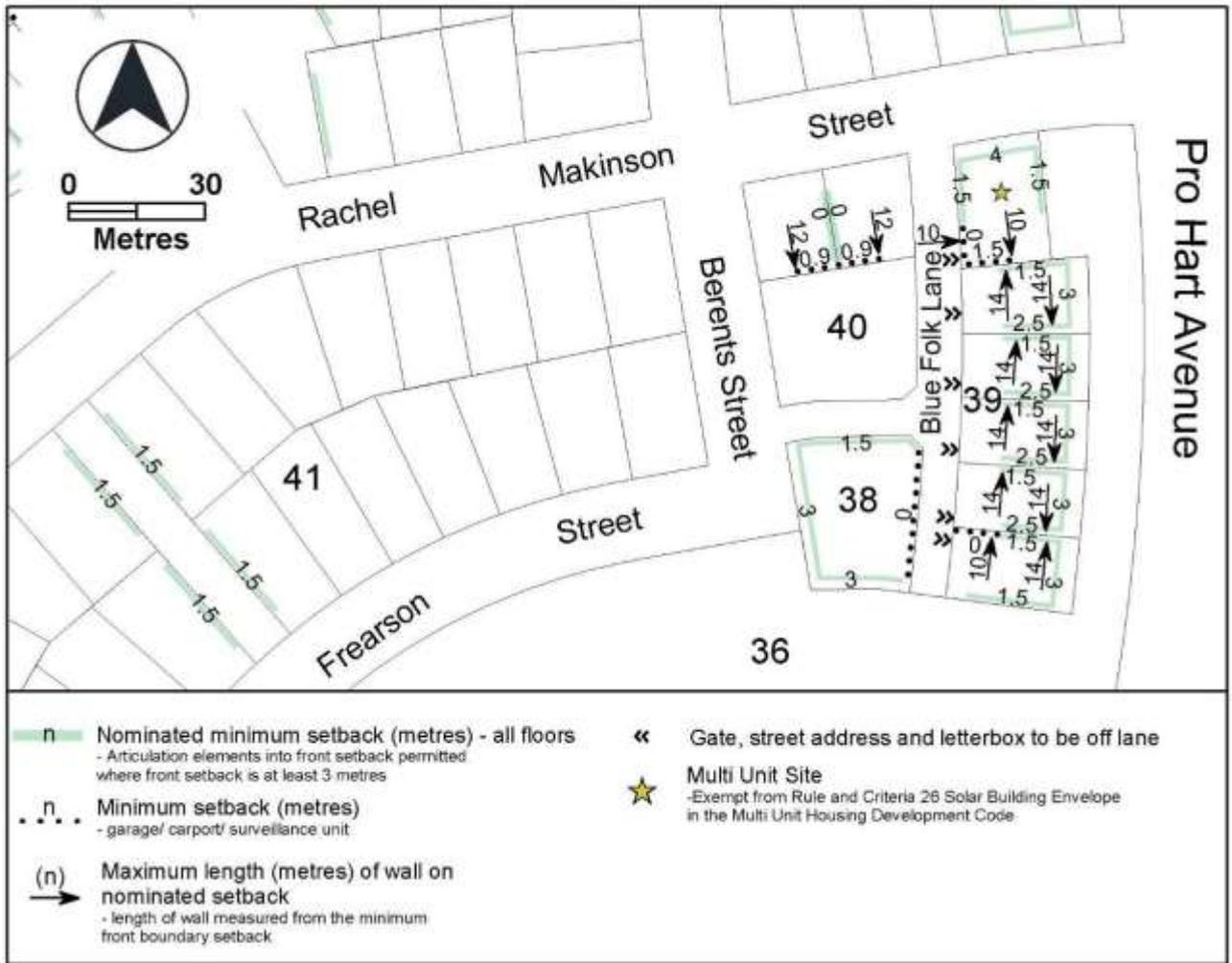


Figure 17 – Associated with the Strathnairn Suburb Map

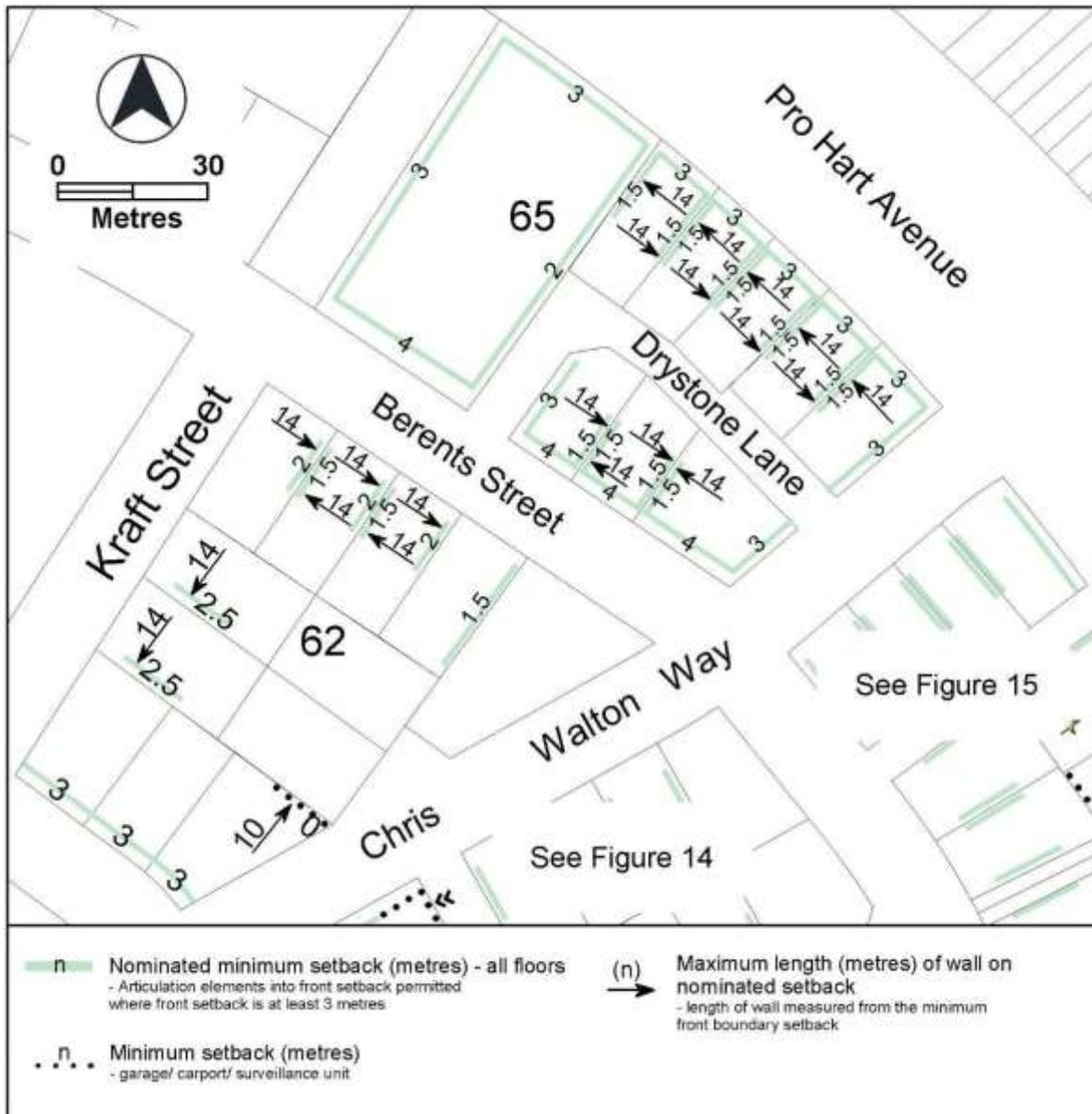


Figure 18 – Associated with the Strathnairn Suburb Map

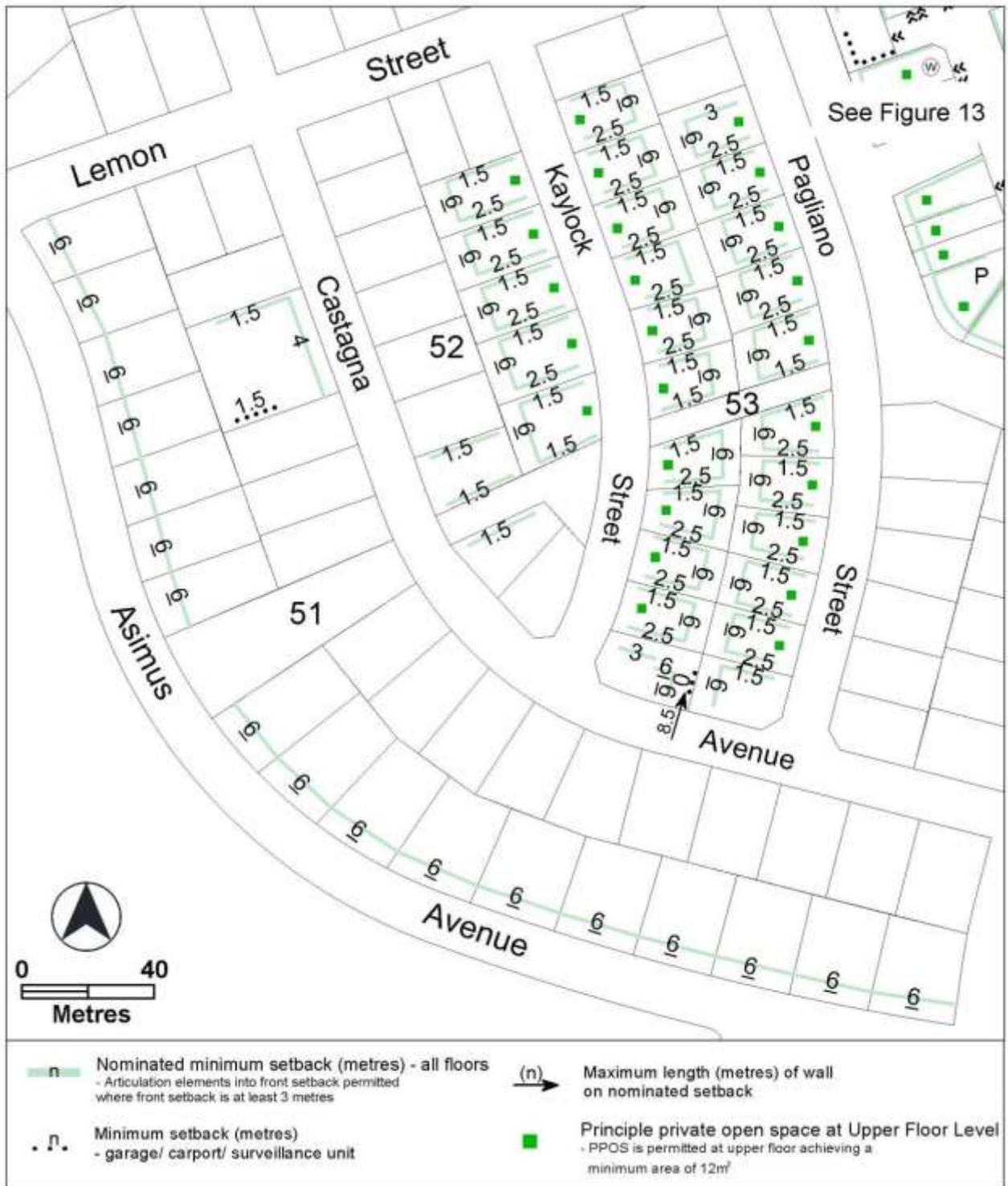


Figure 19 – Associated with the Strathnairn Suburb Map

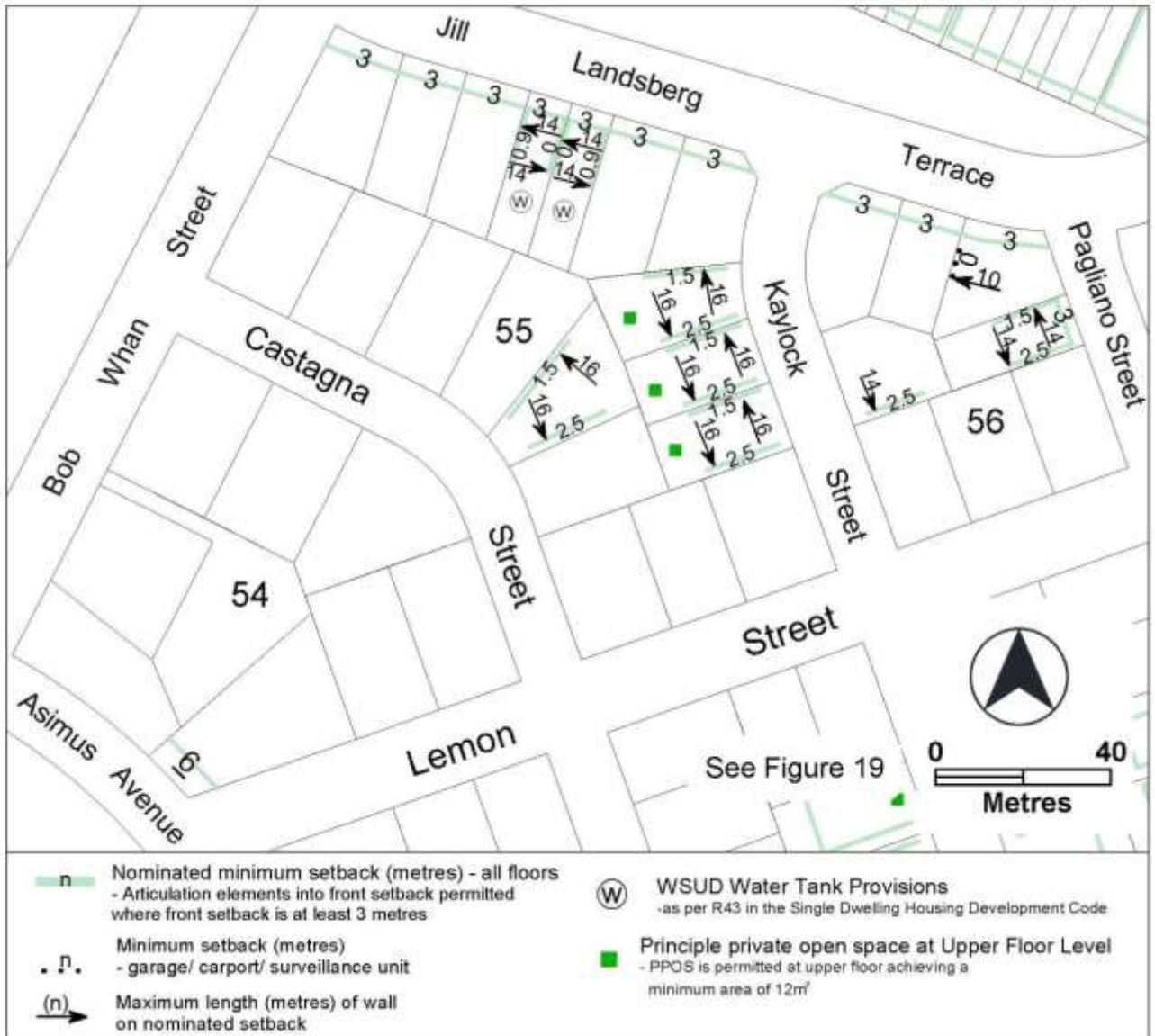


Figure 20 – Associated with the Strathnairn Suburb Map

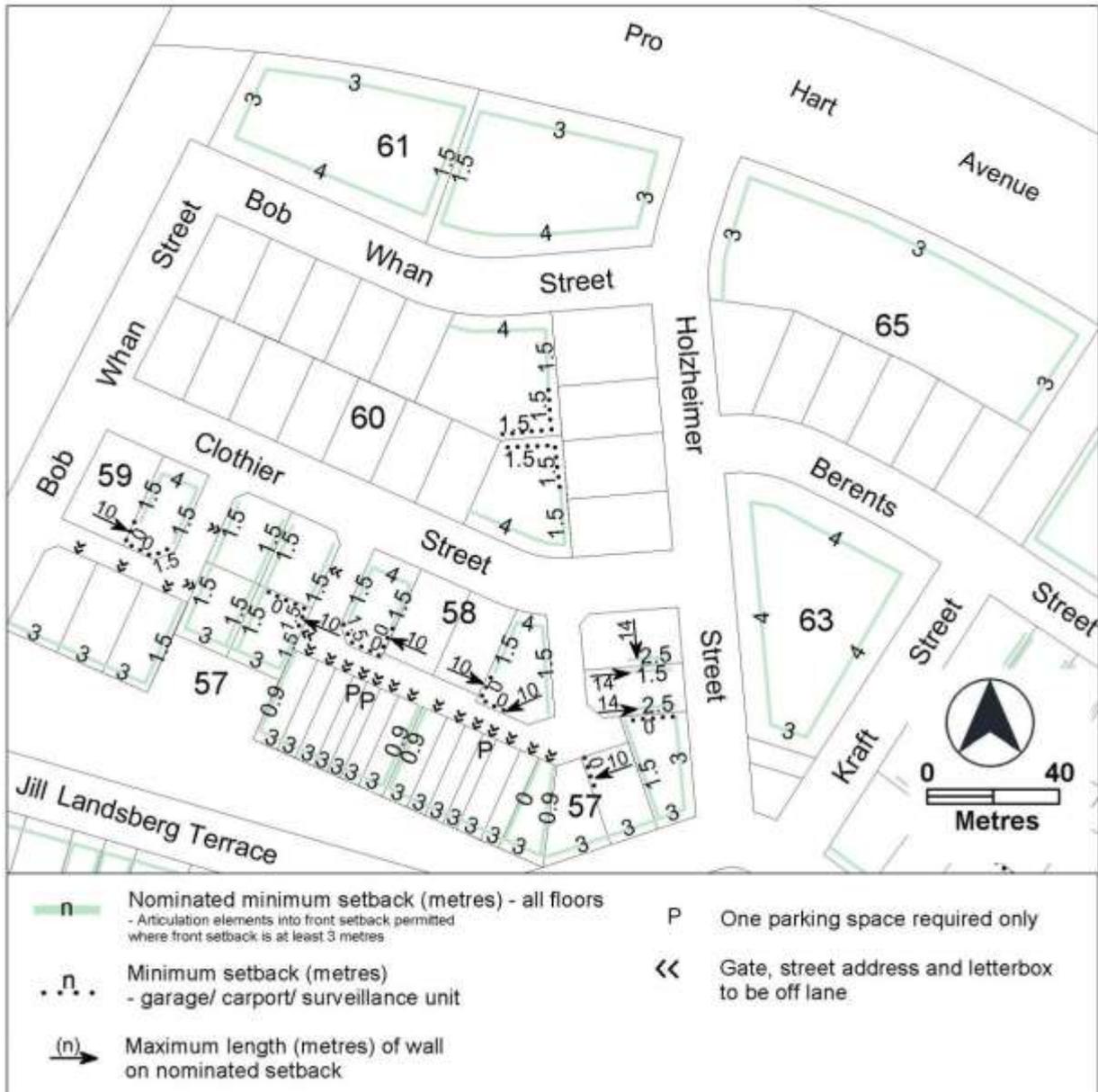


Figure 21 – Associated with the Strathnairn Suburb Map

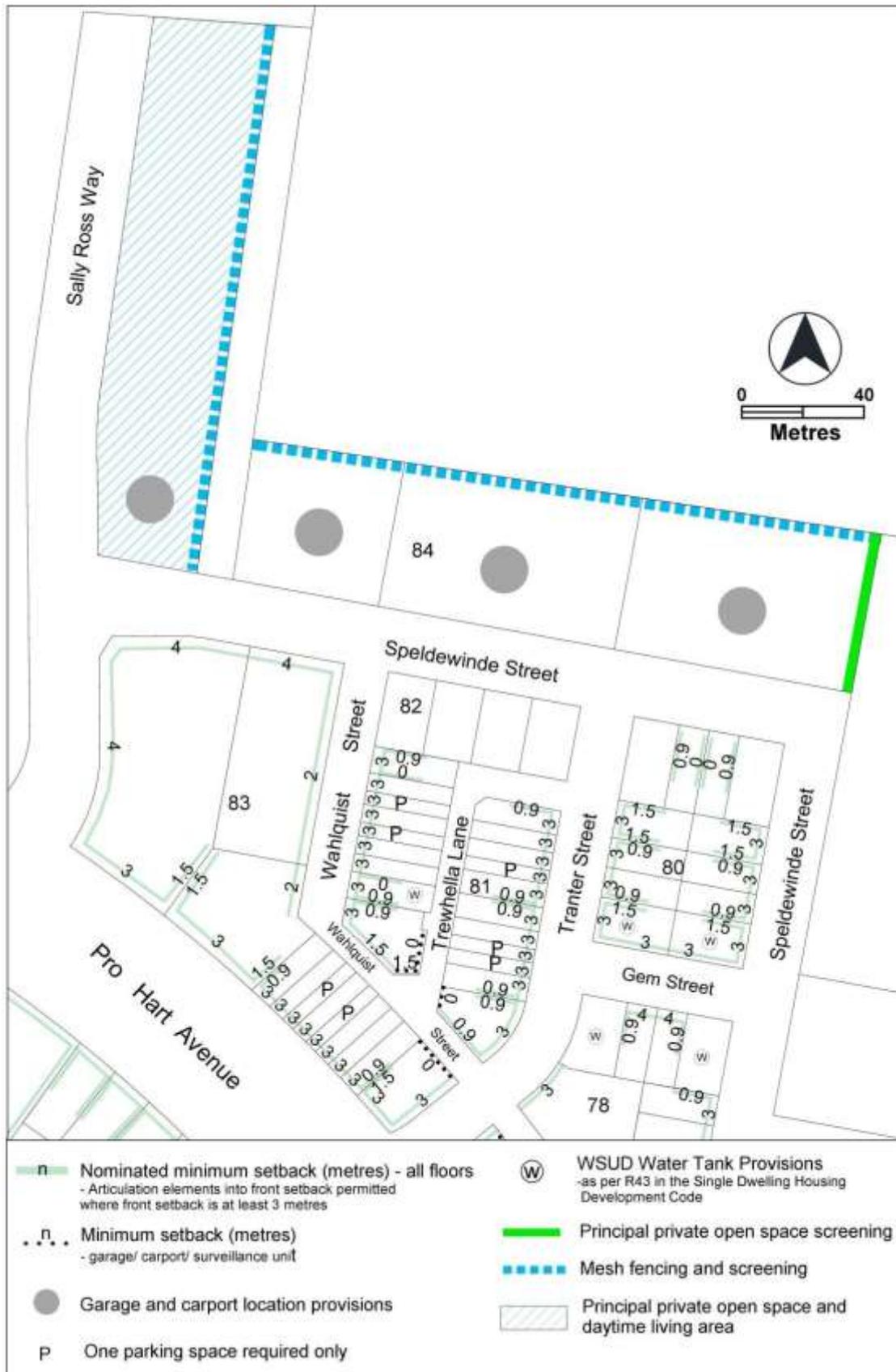


Figure 22 – Associated with the Strathnairn Suburb Map

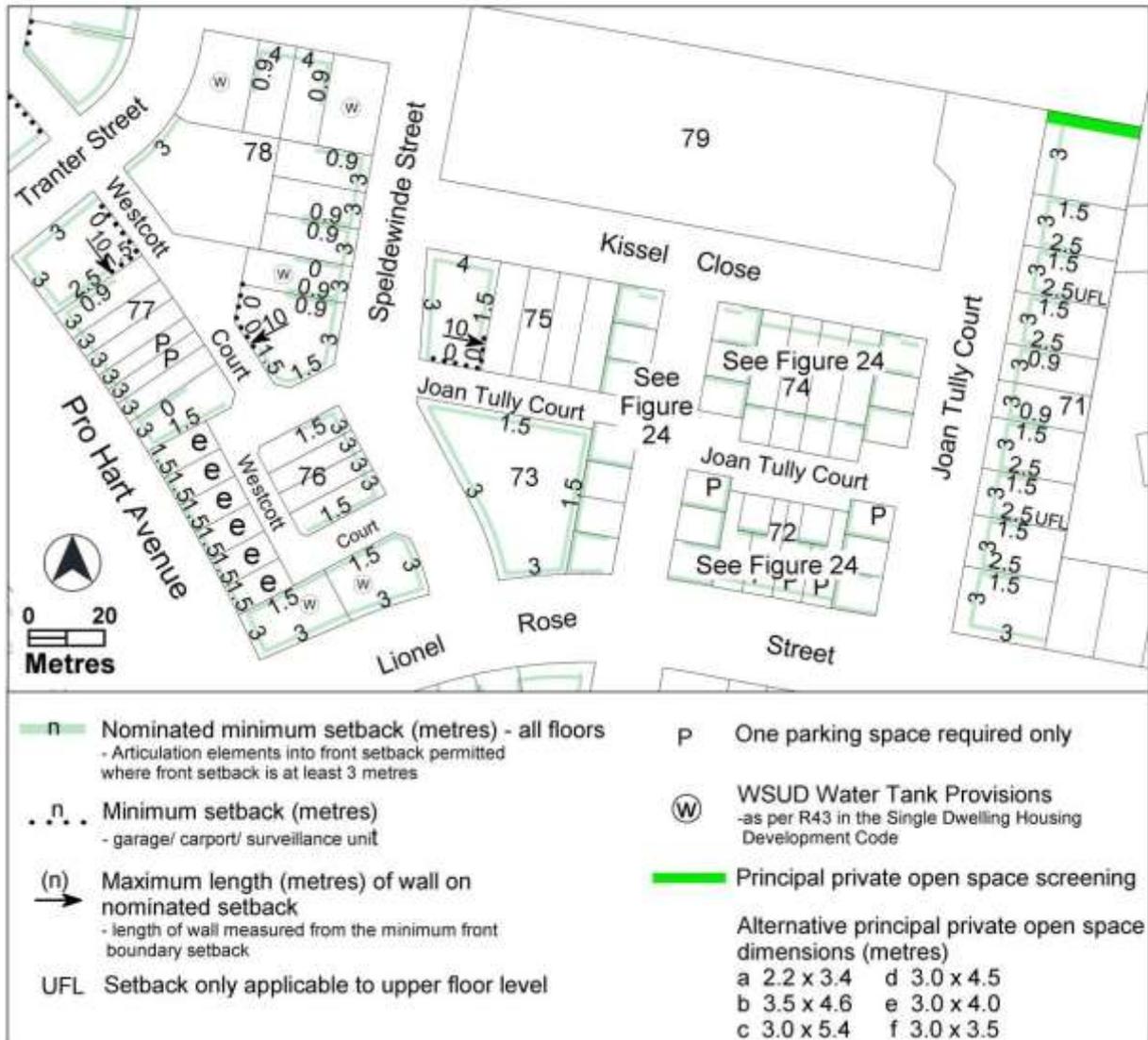


Figure 23 – Associated with the Strathnairn Suburb Map

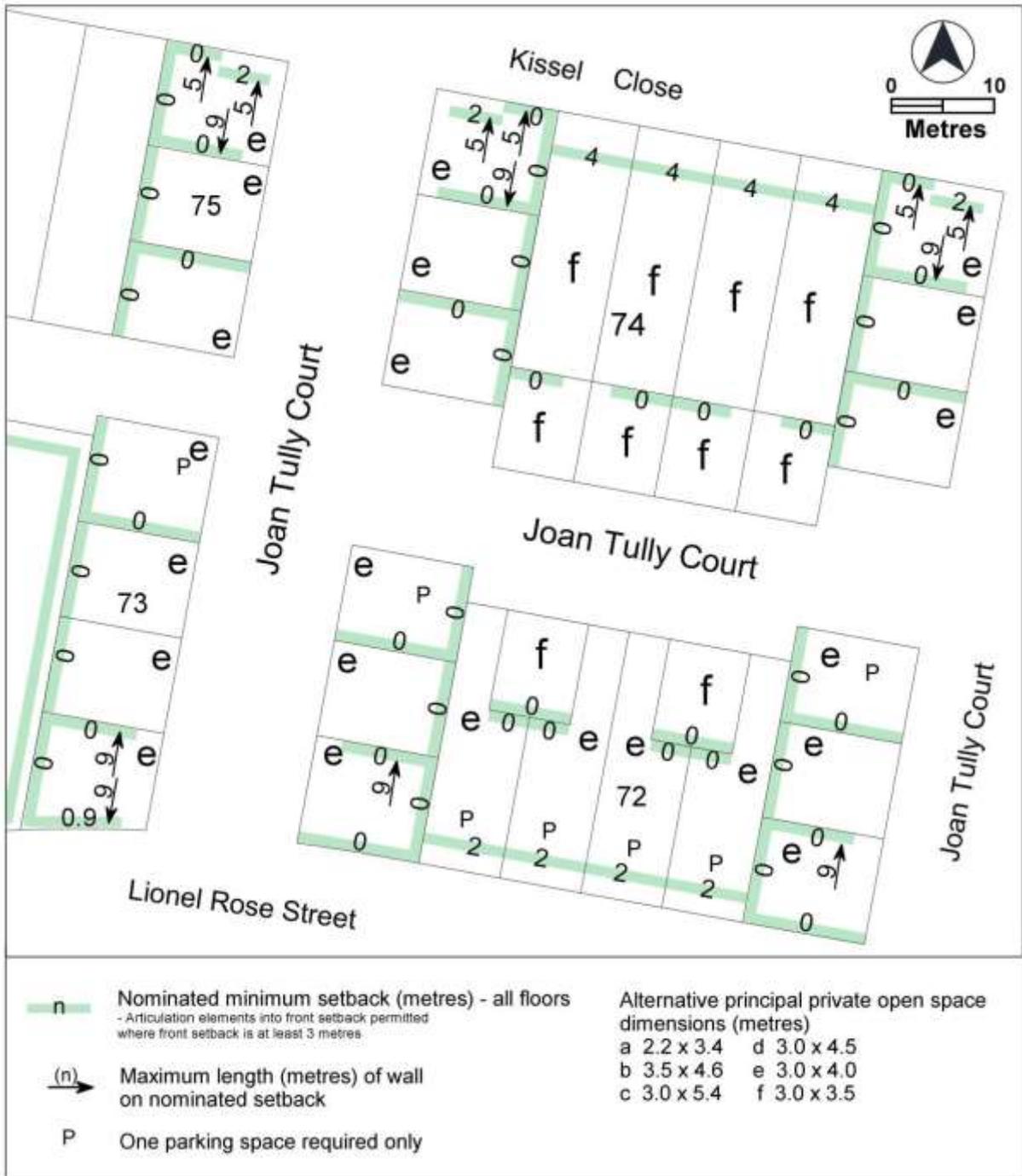


Figure 24 – Associated with the Strathnairn Suburb Map

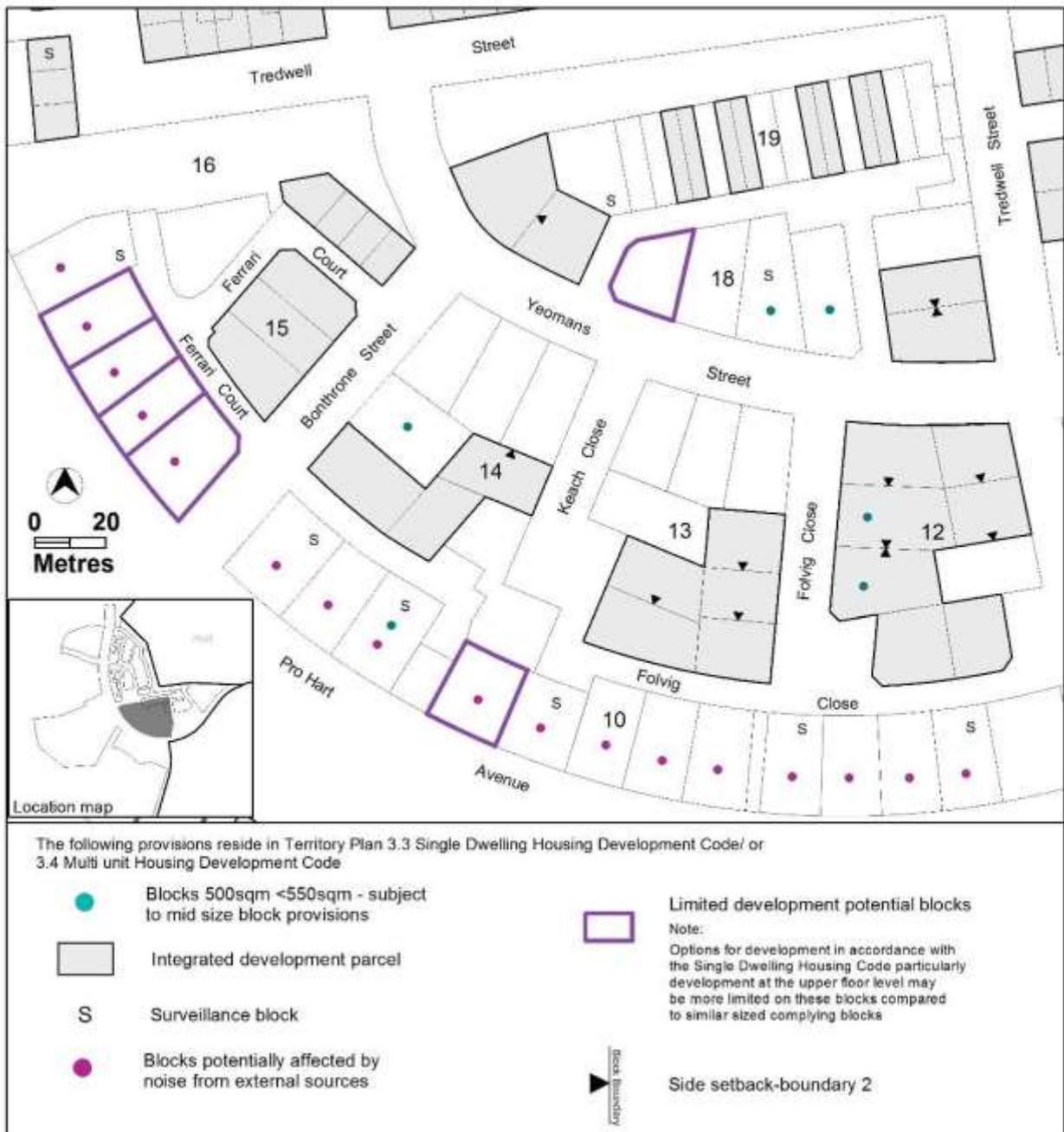


Figure 25 – Associated with the Strathnairn Suburb Map

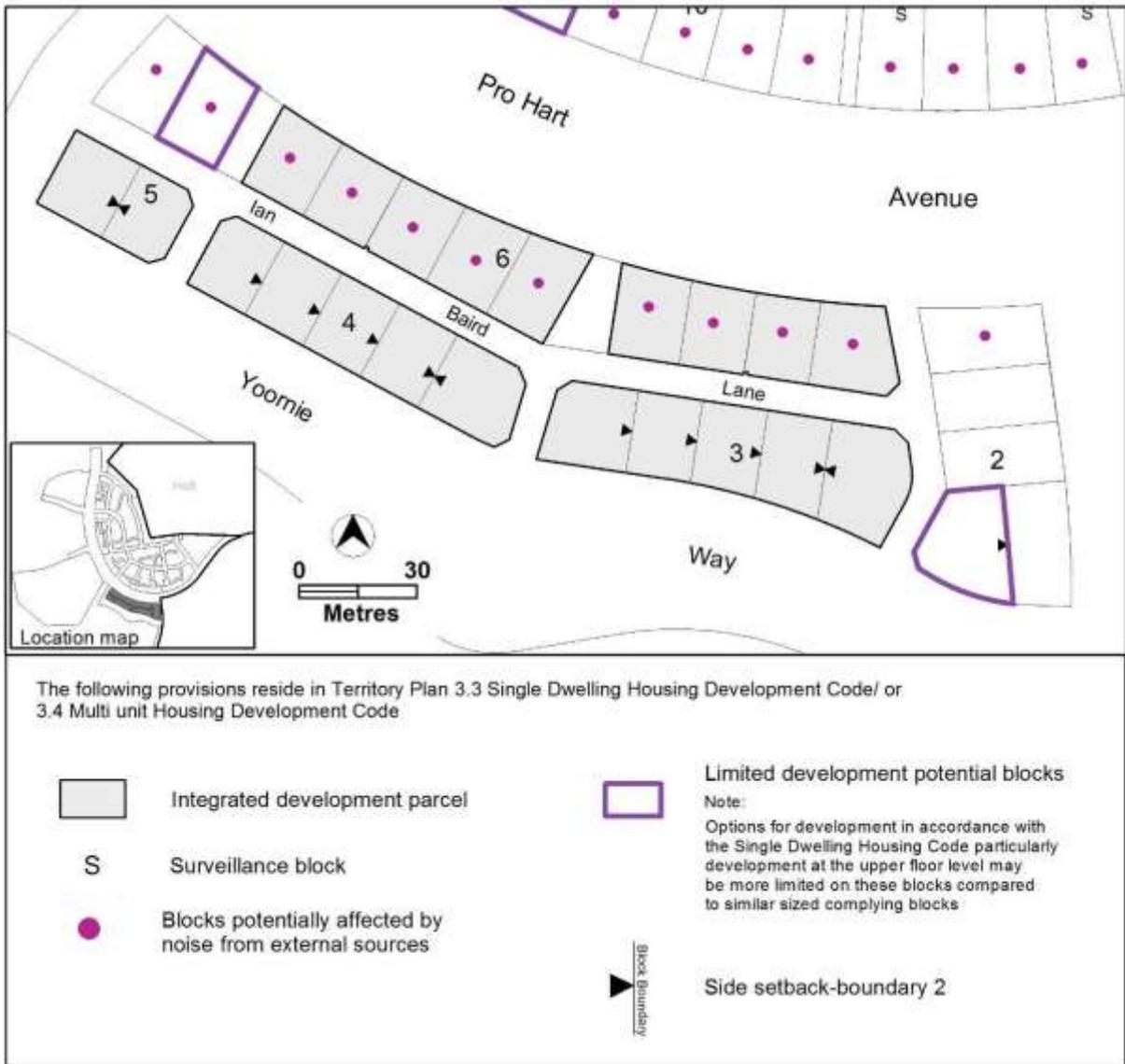


Figure 26 – Associated with the Strathnairn Suburb Map

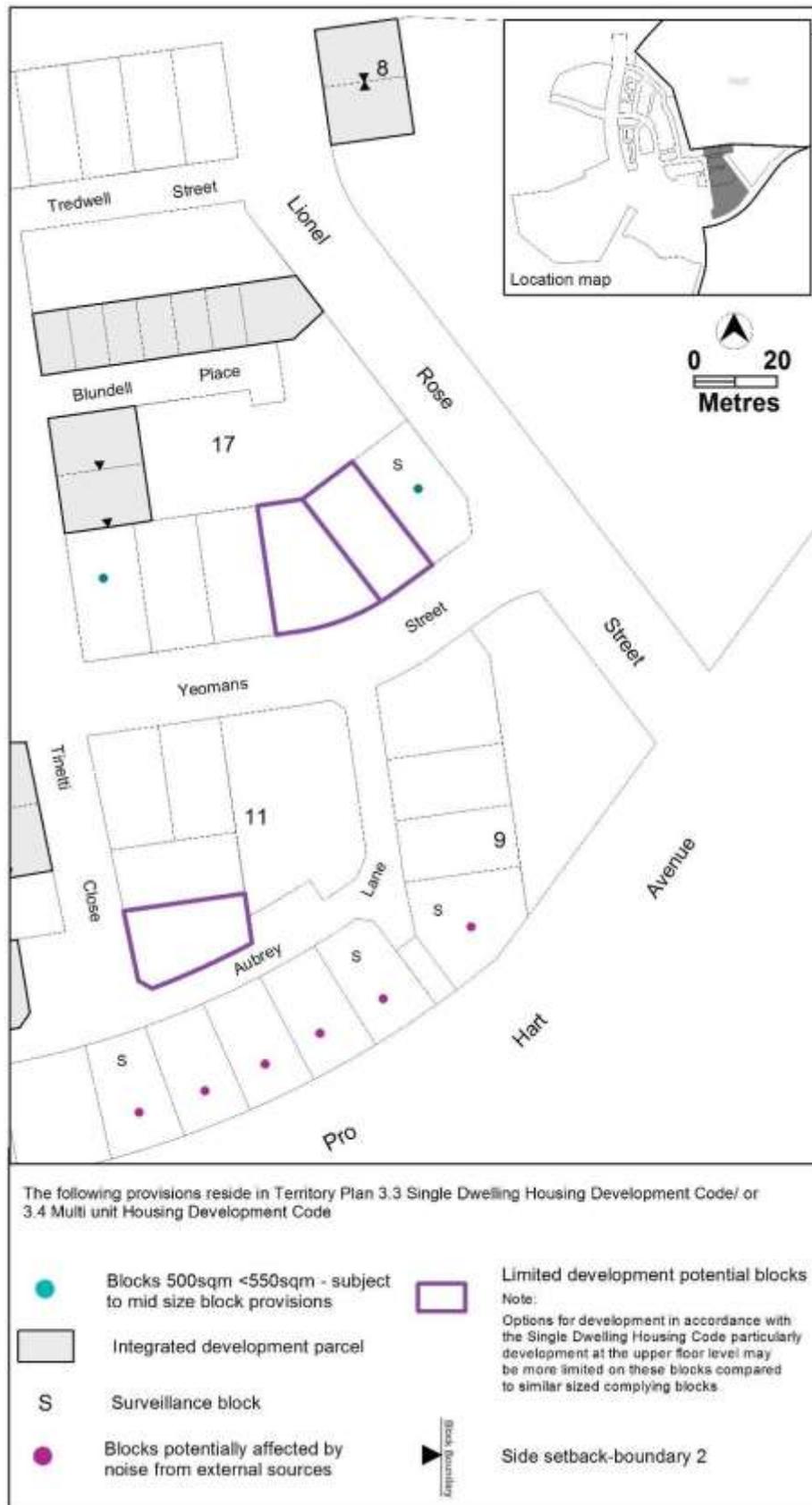


Figure 27 – Associated with the Strathnairn Suburb Map



Figure 28 – Associated with the Strathnairn Suburb Map

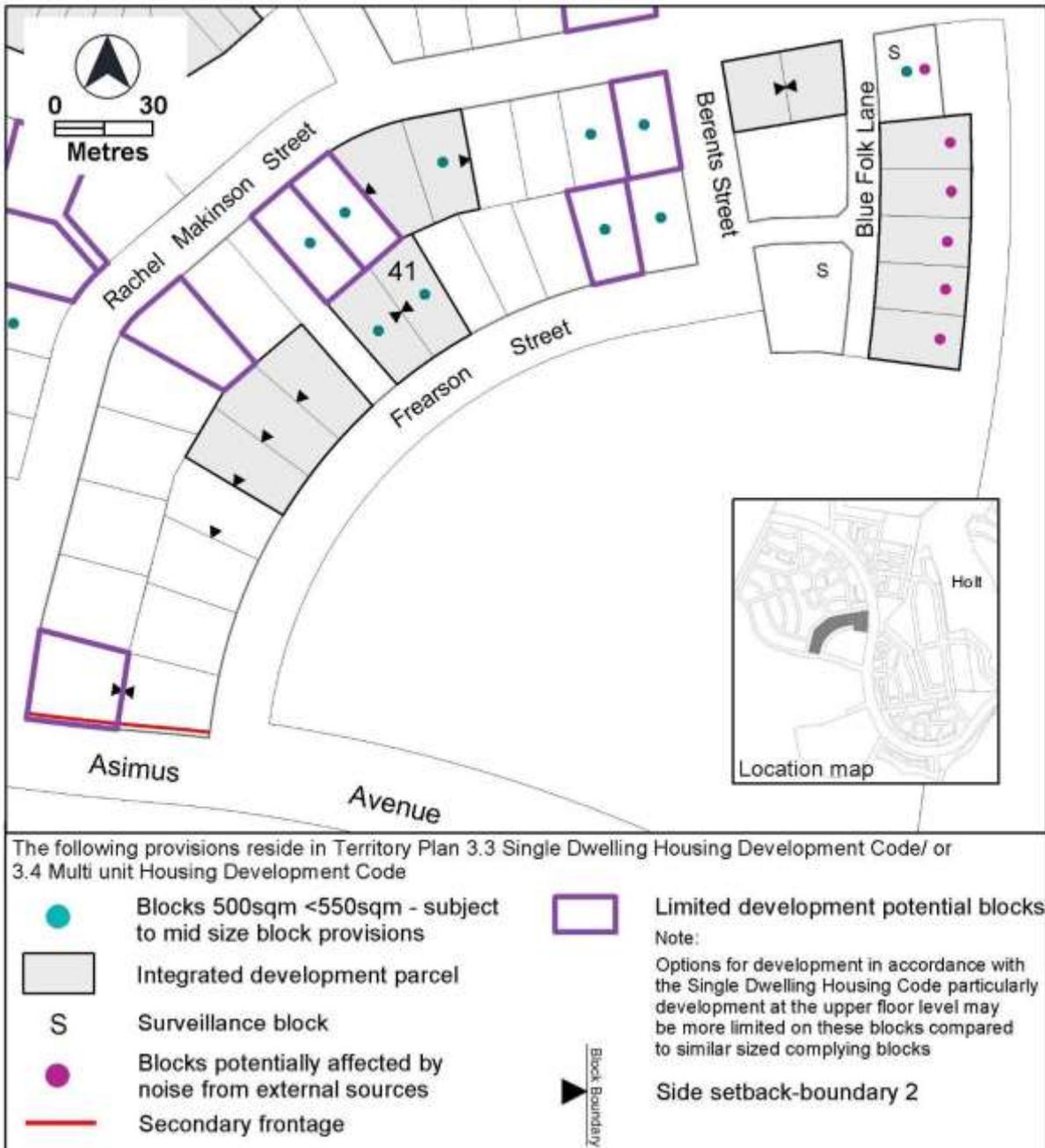


Figure 29 – Associated with the Strathnairn Suburb Map

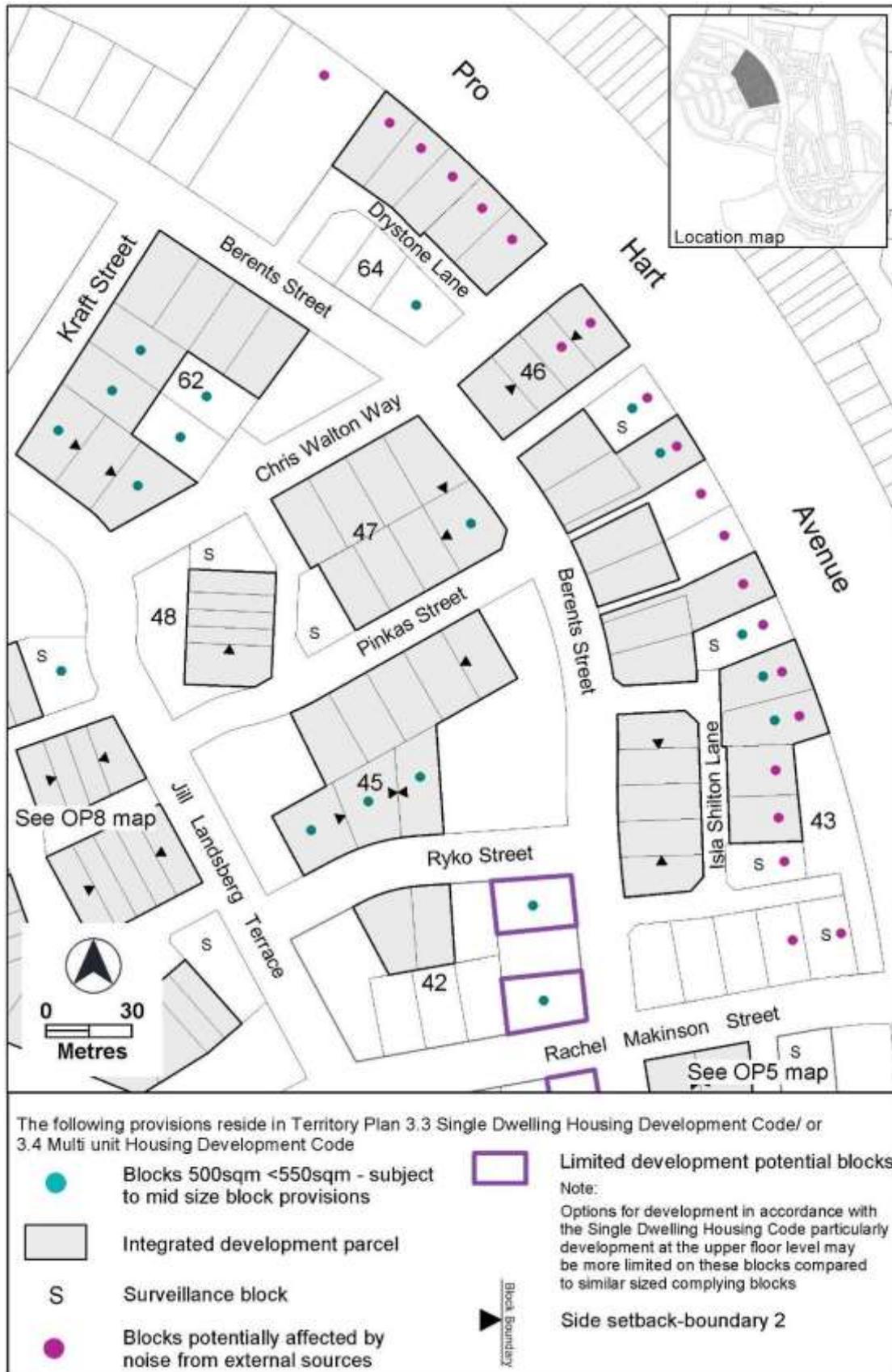


Figure 30 – Associated with the Strathnairn Suburb Map



Figure 31 – Associated with the Strathnairn Suburb Map

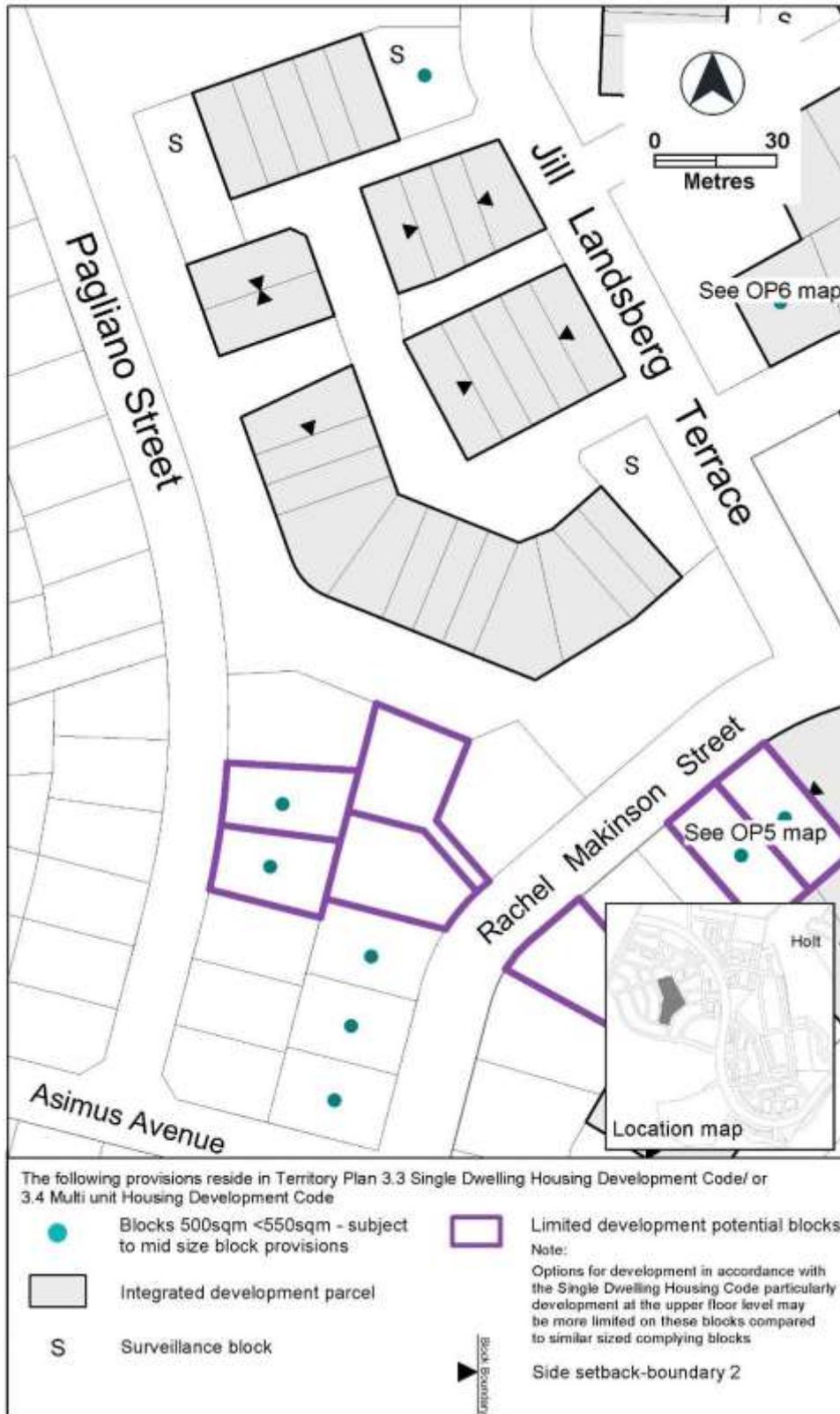
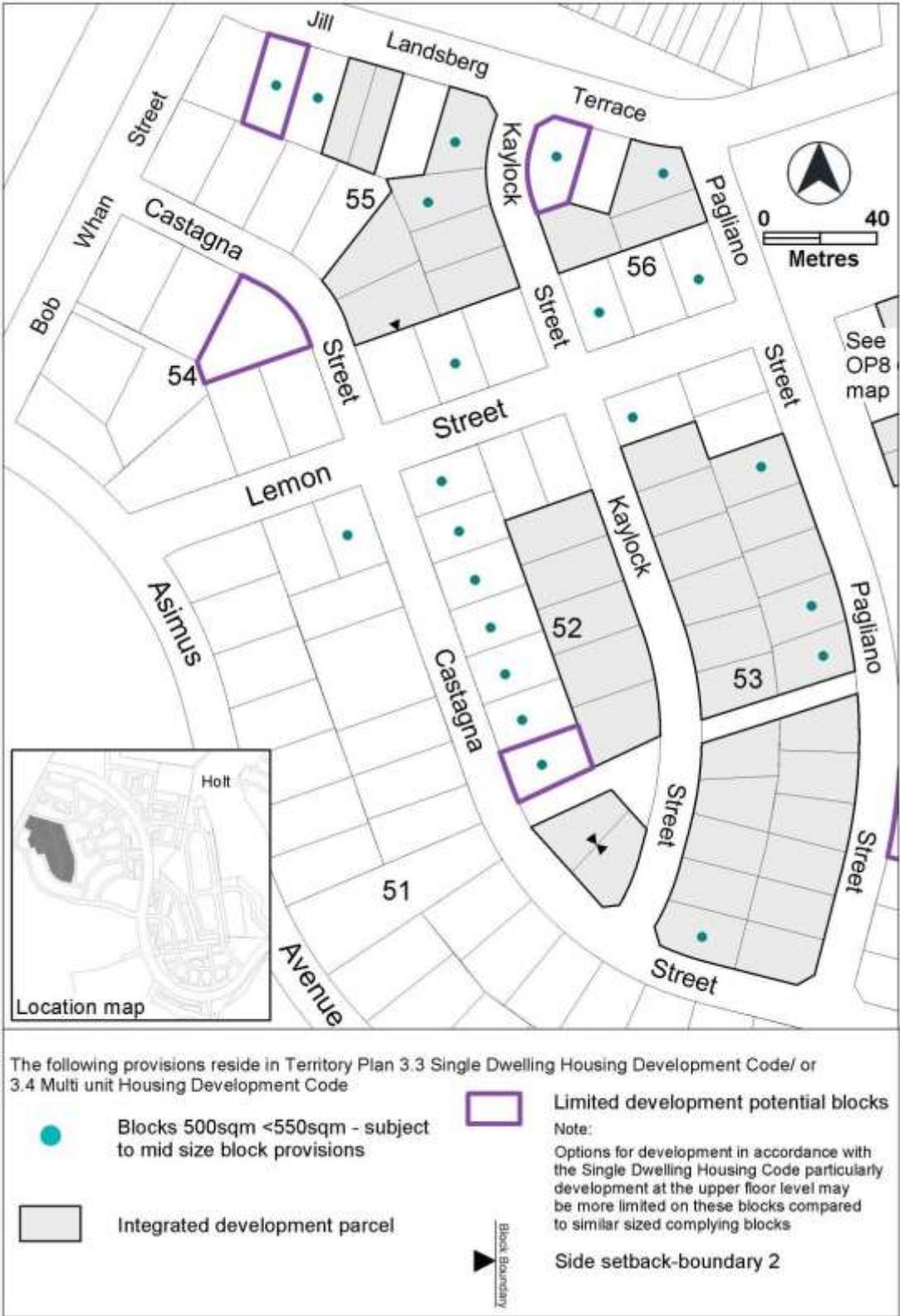


Figure 32 – Associated with the Strathnairn Suburb Map



**Figure 33 – Associated with the Strathnairn Suburb Map**

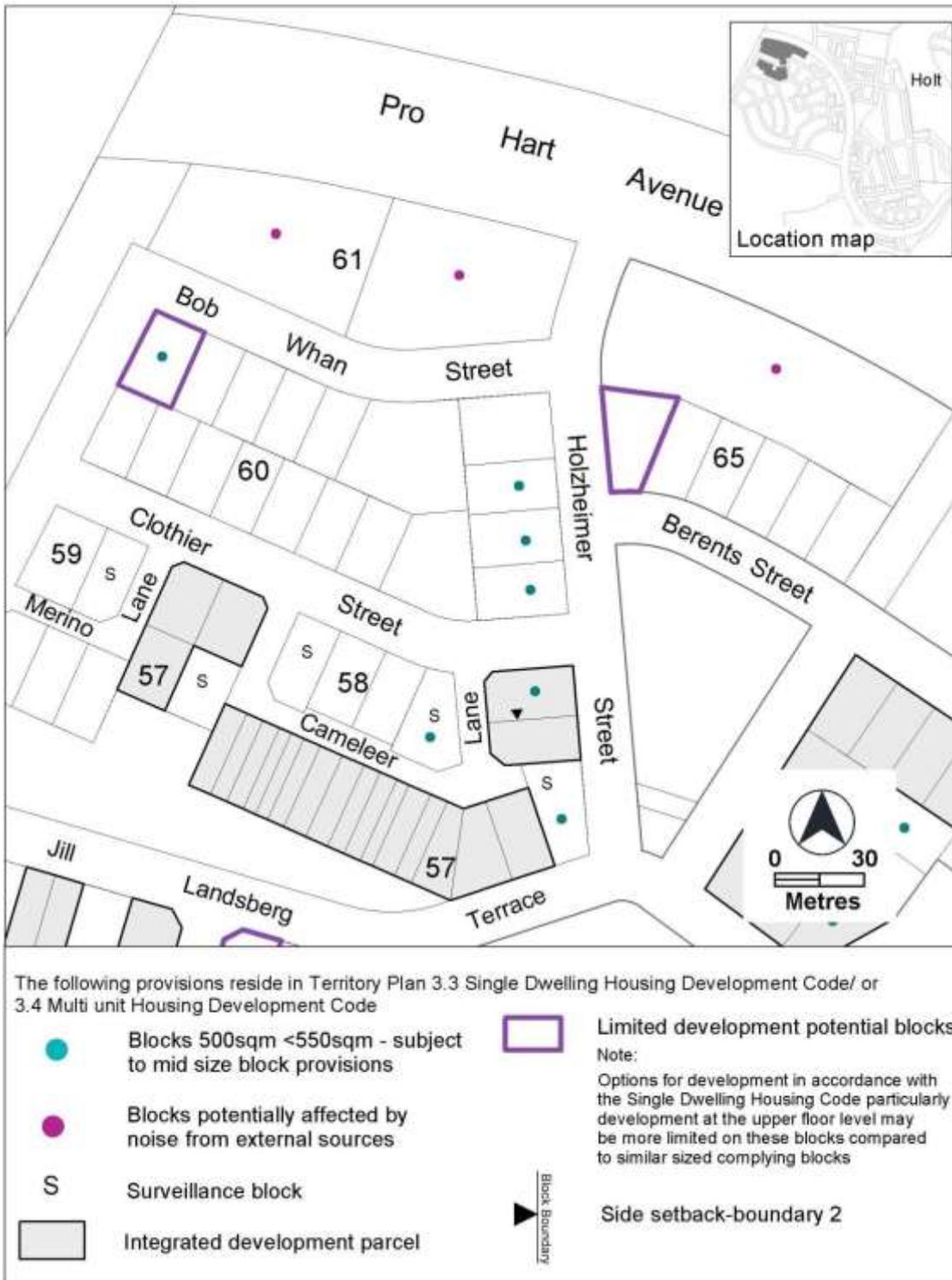


Figure 34 – Associated with the Strathnairn Suburb Map

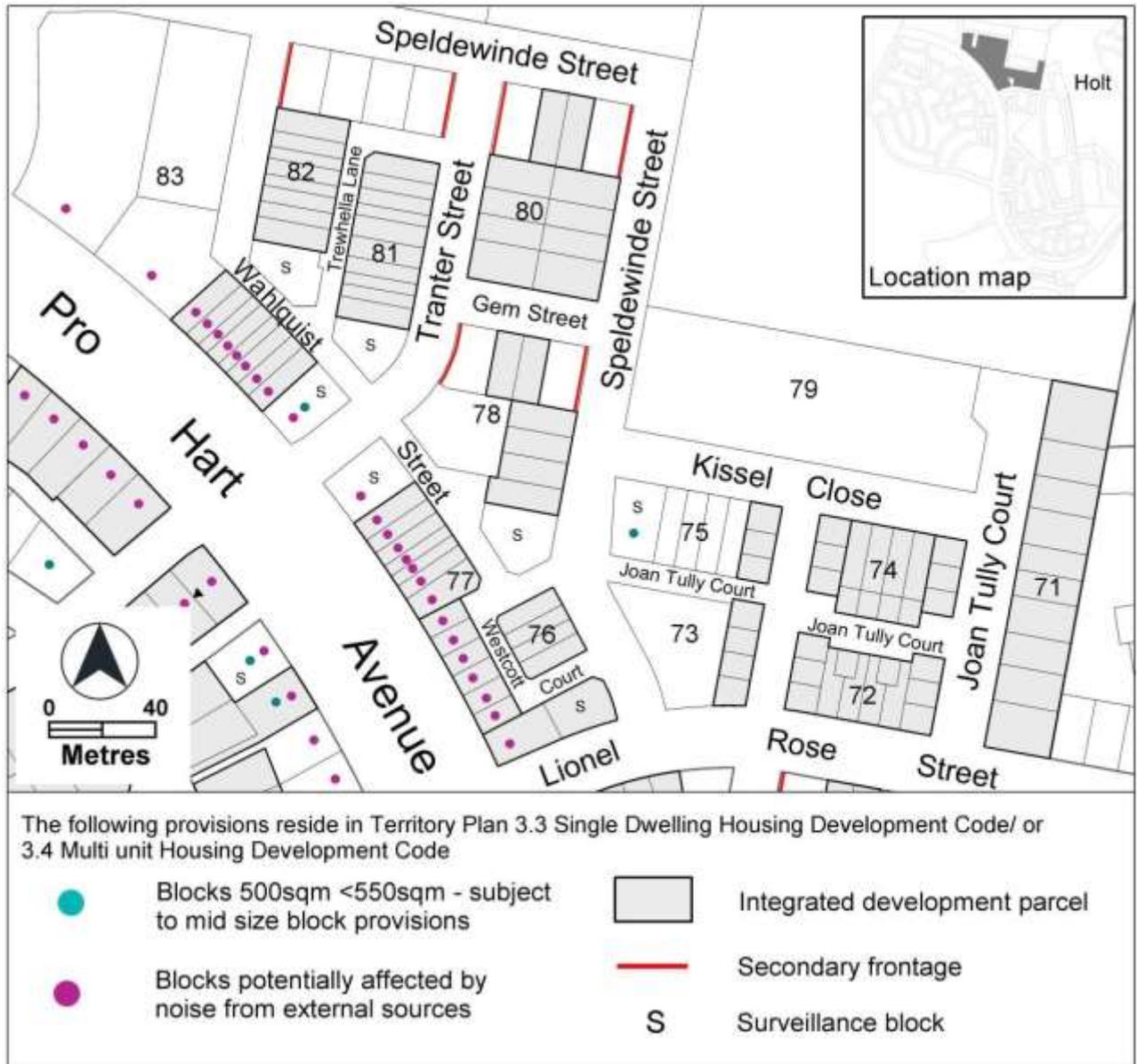


Figure 35 – Associated with the Strathnairn Suburb Map

## CONSULTATION DRAFT FOR COMMENT

LOCATION (refer to plan) FENCING CONTROL ONLY APPLIES TO COURTYARD WALLS AND FENCES FORWARD OF THE BUILDING LINE		MANDATORY	MINIMUM FRONT SETBACK	MAXIMUM HEIGHT	MAXIMUM HEIGHT FOR PPOS SCREEN	MAXIMUM HEIGHT OF SIDE FENCING TO FRONT OF FRONT BUILDING LINE	NOTE
	VILLAGE LINK/ GREEN LINK	YES	100% @ 0m	1.2m	1.5m	1.5m	
●	VILLAGE LINK/ GREEN LINK	YES	100% @ 600mm	1.2m	1.5m	1.5m	PROVIDE PLANTING FORWARD OF THE COURTYARD WALL
	CENTRAL BOULEVARD	YES	50% @ 0m 50% @ 1m	1.2m	1.5m	1.5m	
	LANE WAYS	AS REQUIRED	100% @ 0m	1.8m	1.8m	NA	
	BLOCKS ADJACENT TO OPEN SPACE	AS REQUIRED	100% @ 0m	1.8m*	1.8m	NA	
●	NORTH FACING BLOCKS	ONLY WHERE PPOS IS IDENTIFIED	50% @ 0m 50% @ 600mm	1.5m*	1.5m	1.5m	
CORNER BLOCKS (APPLIES TO ALL LARGE AND MID SIZE CORNER BLOCKS)		AS REQUIRED	50% @ 0m 50% @ 600mm	1.5m*	1.5m	1.5m	NO FENCING PERMITTED WITHIN 6m OF THE CORNER (REFER TO DIAGRAM BELOW)

\* Where located above a retaining wall, fencing to be setback a minimum of 600mm from the boundary. The maximum combined height of wall and fence is 2.2 metres from footpath level. Sufficient space between retaining wall and fence to provide planting.

**Table 1 – Associated with the Strathnairn Suburb Map**

LOCATION (refer to plan) FENCING CONTROL ONLY APPLIES TO COURTYARD WALLS AND FENCES FORWARD OF THE BUILDING LINE		MANDATORY FENCING COURTYARD WALL	MINIMUM FRONT SETBACK	MAXIMUM HEIGHT	MAXIMUM HEIGHT FOR PPOS SCREEN	MAXIMUM HEIGHT OF SIDE FENCING TO FRONT OF FRONT BUILDING LINE	NOTE
	VILLAGE LINK BLOCKS <= 12.5m WIDE	YES	100% @ 0m	1.2m*	1.5m	1.5m	
●	VILLAGE LINK BLOCKS > 12.5m WIDE	YES	50% @ 0m 50% @ 800mm	1.2m*	1.5m	1.5m	PROVIDE PLANTING FORWARD OF THE COURTYARD WALL
	CENTRAL BOULEVARD	YES	50% @ 0m 50% @ 1m	1.2m*	1.5m	1.5m	
	LANE WAYS	NO	100% @ 0m	1.8m	1.8m	NA	
	BLOCKS ADJACENT TO OPEN SPACE	NO	100% @ 0m	1.8m*	1.8m	NA	
NORTH FACING BLOCKS		NO	50% @ 0m 50% @ 800mm	1.5m*	1.5m	1.5m	
CORNER BLOCKS		NO	50% @ 0m 50% @ 800mm	1.5m*	1.5m	1.5m	NO FENCING PERMITTED WITHIN 6m OF THE CORNER (REFER TO DIAGRAM BELOW)

\* Where utility service infrastructure is required in front of any walls, such as Water Meters, Mini Filters, Sewer and any other required service, walls may contain recesses to a maximum of 1.8m length and 0.8m depth or as agreed by the service provider.

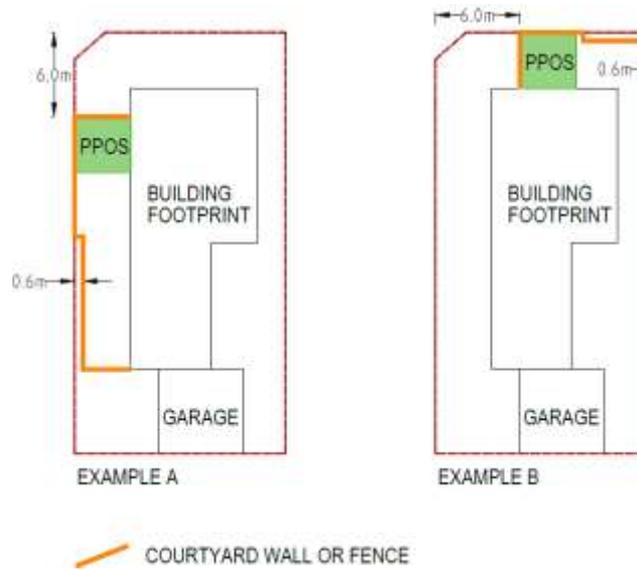
Where blocks are subjected to two boundaries fronting a laneway as shown in Example C, a courtyard wall or fence treatment may be installed along laneway frontages on the boundary.

Where located above a retaining wall, fencing to be setback a minimum of 600mm from the boundary, providing sufficient space for planting. The maximum combined height of wall and fence is 2.2 metres from footpath level.

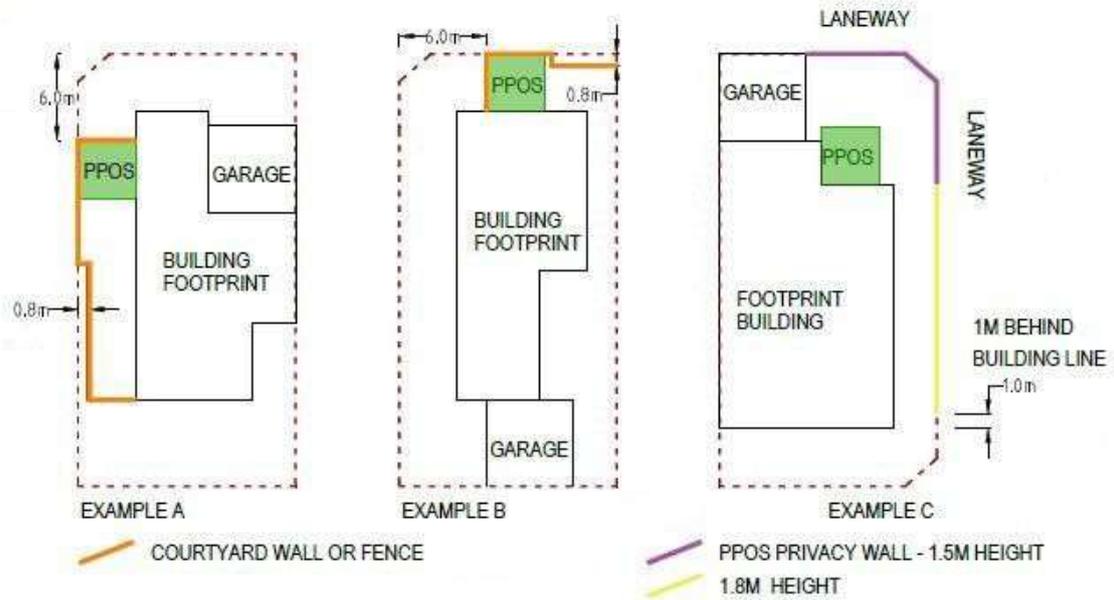
Side boundary fences may be of Timber Paling (hardwood lapped and capped) or Sheet Metal

**CONSULTATION DRAFT FOR COMMENT**

**Table 2 – Associated with the Strathnairn Suburb Map**



**Image 1 – Associated with the Strathnairn Suburb Map**



**Image 2 – Associated with the Strathnairn Suburb Map**

