

DISTRICT SPECIFICATION DS5: MOLONGLO VALLEY

District specifications contains provisions that support compliance with requirements for undertaking development. These provisions assist proponents to prepare their development proposals with respect to some of the required outcomes. District specifications can provide possible solutions for identified aspects of a development proposal or certainty for that proposal. District specifications may also be used as a reference or benchmark for technical matters in the preparation and assessment of development proposals.

Where a proposed development complies with a relevant provision in the district specifications and the specification comprehensively addresses the outcome, further assessment regarding those specific provisions will not be required.

The Territory Planning Authority may consider endorsement or written support from an entity or utility service provider to demonstrate compliance with an outcome that relates to services or utilities.

The district specifications for Molonglo Valley District comprises specifications for specific localities; the specifications are structured according to the localities.

Each provision comprises a *control* and a *specification*.

- **Control** refers to the general issue that the specification deals with.
- **Specification** suggests a possible solution that supports compliance with the particular issue or provision.

The following district specifications could be referred to when demonstrating compliance with the Territory Plan.

These specifications will only apply to the specific sites or locations they refer to and should be used in conjunction with the relevant district policy, i.e., *Part D5: Molonglo Valley District Policy*.

1.1 Coombs

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Coombs:

Control: Buildings envelope (Blocks in **Figure 1**)

Specification:

1. Buildings in the areas (RC1, RC2) indicated on Figure 1 must be sited wholly within the building envelope formed by projecting planes over the subject block comprising lines projected at X° to the horizontal from an infinite number of points on a line of infinite length 1.8m above the northern boundary or boundaries of an adjoining residential block. X° is the apparent sun angle at noon on the winter solstice. Refer Figure 2. Values for X are given in Table 1.
Note: The northern boundary means a boundary of a block where a line drawn perpendicular to the boundary outwards is orientated between 45° west of north and 45° east of north.
2. For residential buildings with three storeys or fewer within the (RC1, RC2 and RC4) areas identified on Figure 1: Unless buildings are consistent with the desired character and provide reasonable privacy for dwellings and private open space on adjoining residential blocks, buildings are sited wholly within the building envelope formed by projecting planes over the subject block comprising lines projected at 45° to the horizontal from an infinite number of points on a line of infinite length 3.5m above each side and rear boundary, except for northern boundaries of adjoining residential blocks. Refer Figure 2.

Note: The northern boundary means a boundary of a block where a line drawn perpendicular to the boundary outwards is orientated between 45° west of north and 45° east of north.

1.2 Denman Prospect

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Denman Prospect:

Control: Private open space (Blocks in **Figure 10**)

Specification:

3. For blocks in Figure 10, the level of private open space is not lower than 1m below the front boundary level for a depth of 3m from the front boundary to the open space. Maximum length of wall at zero setback is limited to length of the adjoining dwelling party wall.

Control: Side boundary and other boundary setbacks (Blocks in **Figures 9, 10, 14 and 15**)

Specification:

4. For blocks in Figures 9, 10, 14 & 15, the minimum side boundary setback to garage / carport is as nominated and the maximum length of the wall is 8m.
5. For blocks in Figures 14 & 15, the minimum boundary setbacks to all floors and minimum and maximum height of development are as nominated.

Control: Boundaries and fences to open spaces (Blocks in **Figures 9, 10, 11, 12, 13 and 14**)

Specification:

6. For blocks in Figures 9, 10, 11, 12, 13 & 14, boundaries to open space provide one gate access.
7. Blocks fronting open space provide transparent type fencing with maximum height of 1.2m.

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Control: Vehicle access limitation (Blocks in **Figures 10, 11, 12, 13 and 15**)

Specification:

8. No vehicle access is provided from frontages as notated on Figures 10,11,12,13 &15.

Control: Additional controls (Blocks in **Figure 10**)

Specification:

9. For blocks in Figure 10:

- a) Identified areas are maintained as a landscape zone.
 - b) Commercial uses adjacent to the landscape zone are activated.
 - c) No vehicle access where indicated.
 - d) Pedestrian access is facilitated at the corner of Marie Little Crescent and Greenwood Street, providing an accessible connection to Section 76; and from Section 72 across Marie Little Crescent providing an accessible connection to Section 73.
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Control: Additional controls (Blocks in **Figure 15**)

Specification:

10. For blocks in Figure 15, fences are not on nominated front boundaries. Where a multi-unit site fronts open space, landscape treatment provides an effective vehicle barrier. Pedestrian access is provided on all nominated boundaries. Where a multi-unit site exceeds 10 dwellings, multiple entries are provided. Nominated blocks provide habitable rooms that overlook both front boundaries. Courtyard walls are permitted forward of the primary building zone and are to comply with the following:

- a) Constructed only of brick, block or stonework, any which may be combined with feature panels, with a maximum height of 1.8m, and set back 0.5m from the front boundary to facilitate a planting zone forward from the wall.
- b) Where the length of the wall exceeds 5m, it must be articulated by way of an increased setback for a gate and/or an articulated planting zone as follows:
 - i) A pedestrian entry with a gate must be setback a minimum 1.5m from the front boundary.
 - ii) An additional increased setback from the wall, of minimum 1m for an articulated planting zone.

Figure 21 shows examples of courtyard walls.

1.3 Whitlam

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Whitlam:

Control: Side boundary and other boundary setbacks (Blocks in **Figures 22, 23, 24, 25, 26, 27, 28 and 29**)

Specification:

11. For blocks identified in Figures 22, 23, 24, 25, 26, 27, 28 and 29, the lower floor level complies with the following side boundary setbacks within the primary building zone and the rear zone:

- a) minimum setback of 3m from side boundary 1
- b) minimum setback of 1.5m from side boundary 2
- c) garages are setback a minimum of 1.5m from side boundary 2
- d) the lower floor level minimum rear boundary setback and all upper floor level setbacks of the Residential Zones Policy apply.

Note: The northern boundary of Section 11 Blocks 13 and 17 are considered side setbacks for the purposes of this requirement.

12. For blocks identified in Figures 27 and 29: The total change in ground level resulting from cut or fill does not exceed 1.5m within 1.5m of a side or rear boundary. The change in ground level is the cumulative total of all

level changes within 1.5m of the boundary taken from the datum ground level to the new finished ground level.

Control: Additional controls (Blocks identified on **Figures 22, 23, 24, 25, 27, 28 and 29**)

Specification:

13. For blocks identified in figures 22, 23, 24, 25, 27, 28 and 29:

- a) The minimum setbacks to lower and/or upper floor levels is as indicated.
 - b) Vehicle access is not permitted as indicated.
 - c) Courtyard wall to a maximum height of 1.5m constructed of brick or stonework in combination with feature panels that include openings not less than 25% of the surface area, and setback 600mm from the front boundary to incorporate landscaping. The wall is to extend along the boundary and terminate 5 metres from the corner boundary adjoining a road. Refer to Figure 30 for examples courtyard walls.
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1.4 Wright

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Wright:

Control: Buildings envelope (Blocks in **Figure 37**)

Specification:

14. For buildings in the areas (RC1) on Figure 37: Buildings are sited wholly within the building envelope formed by projecting planes over the subject block comprising lines projected at X° to the horizontal from an infinite number of points on a line of infinite length 1.8m above the northern boundary or boundaries of an adjoining residential block. X° is the apparent sun angle at noon on the winter solstice. Refer Figure 2. Values for X are given in **Table 1**.

Note: The northern boundary means a boundary of a block where a line drawn perpendicular to the boundary outwards is orientated between 45° west of north and 45° east of north.

Figure 1 (Coombs)

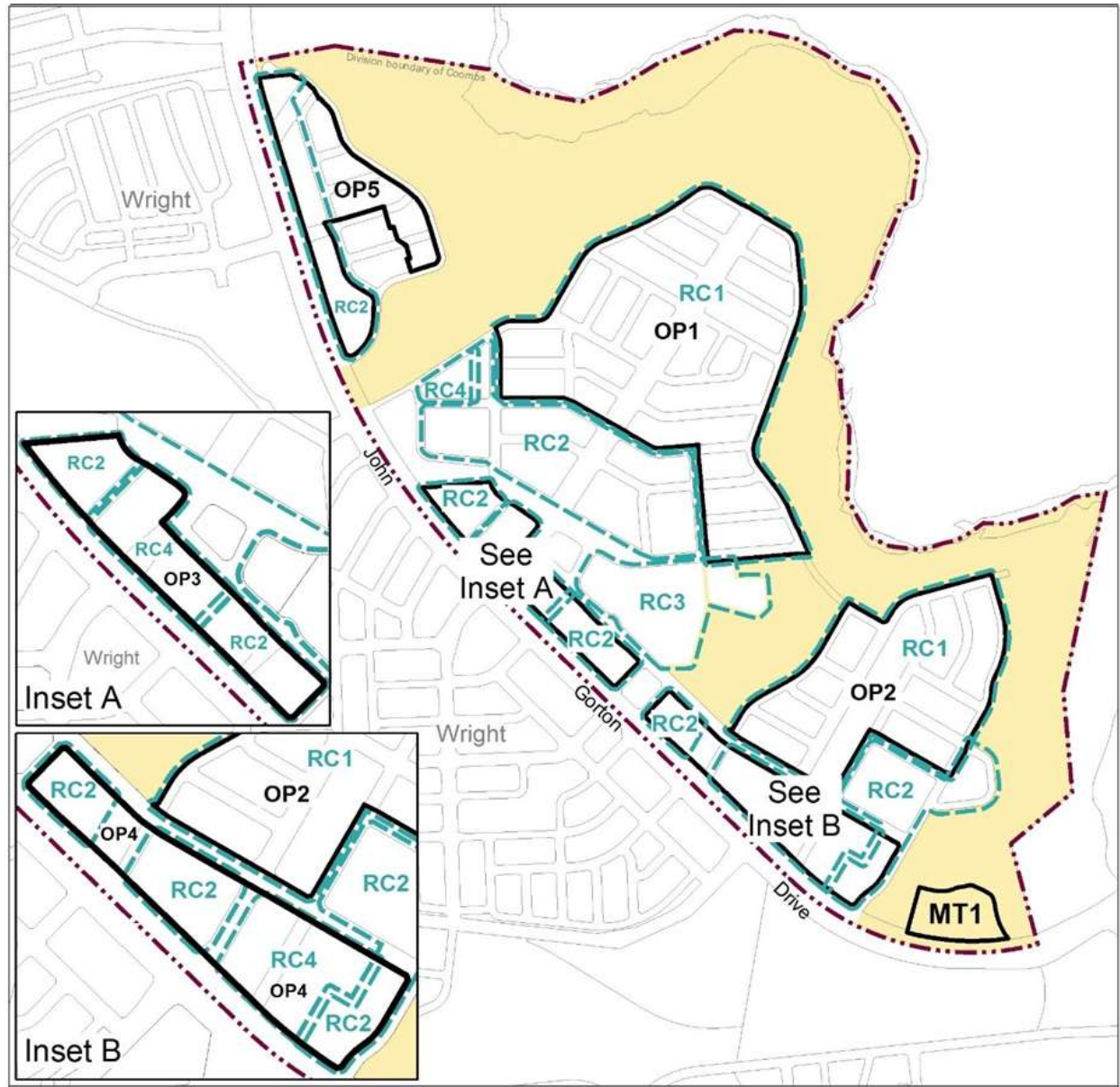


Table 1 (Coombs & Wright)

Aspect of northern boundary or north facing window (bearing of line drawn perpendicular to the boundary or window)	Angle (X)
North 0<10° East & North 0<10° West	32 °
North 10<20° East & North 10<20° West	35 °
North 20<30° East & North 20<30° West	37 °
North 30<40° East & North 30<40° West	39 °
North 40-50° East & North 40-50° West	41 °

Figure 2 (Coombs & Wright)

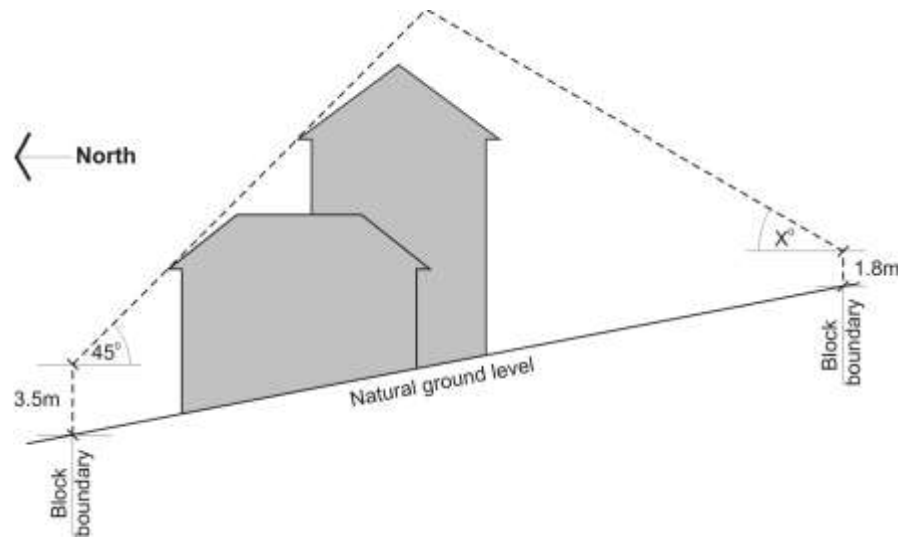


Figure 3 (Coombs):

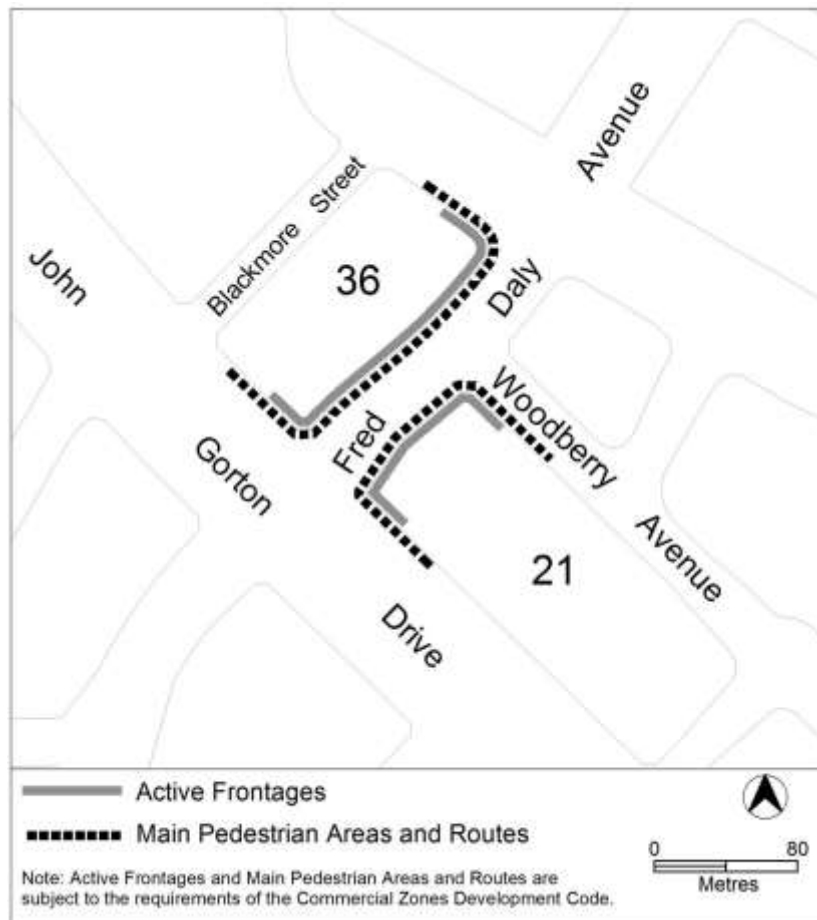


Figure 4 (Coombs) – ongoing provisions

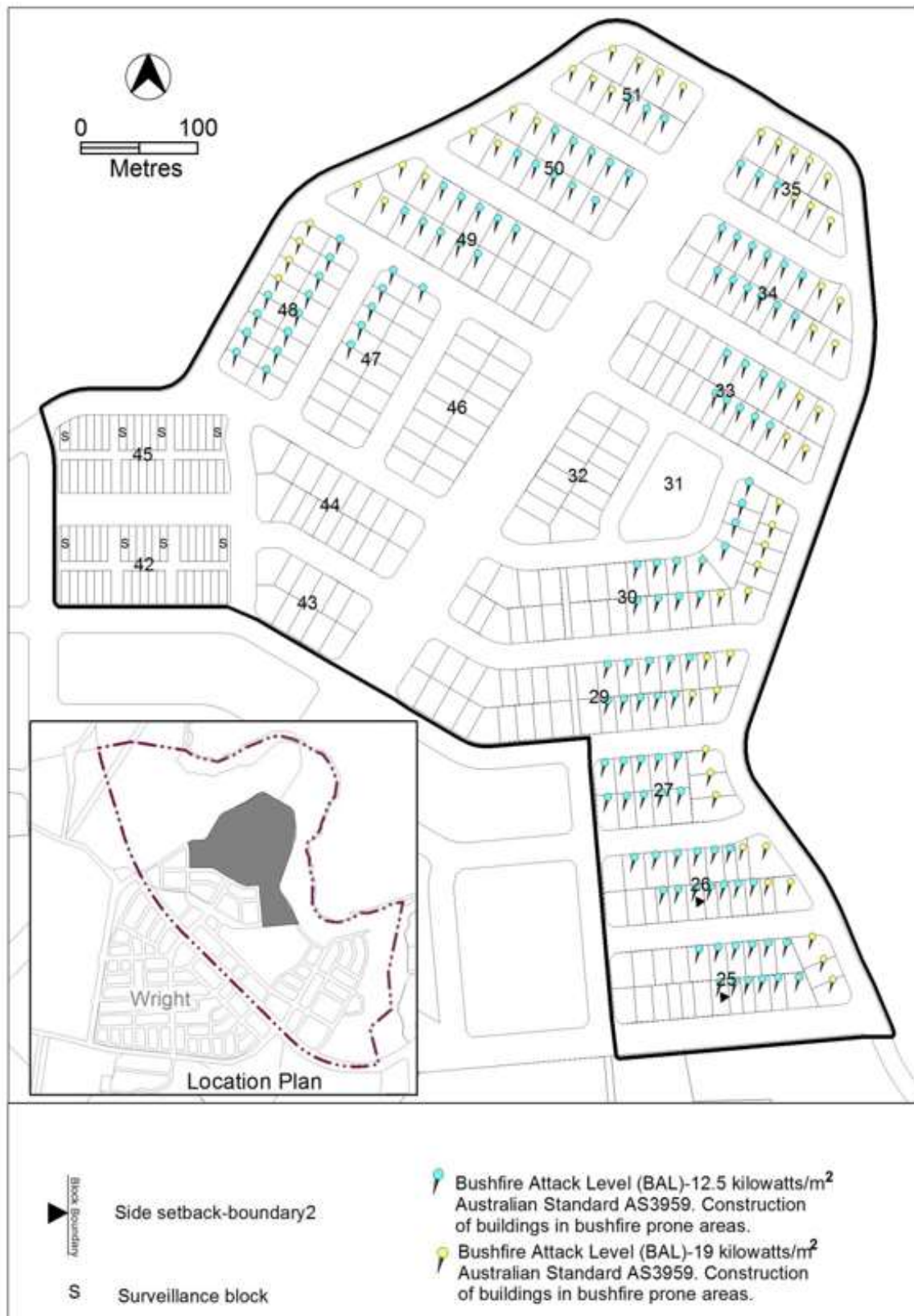


Figure 5 (Coombs) – ongoing provisions

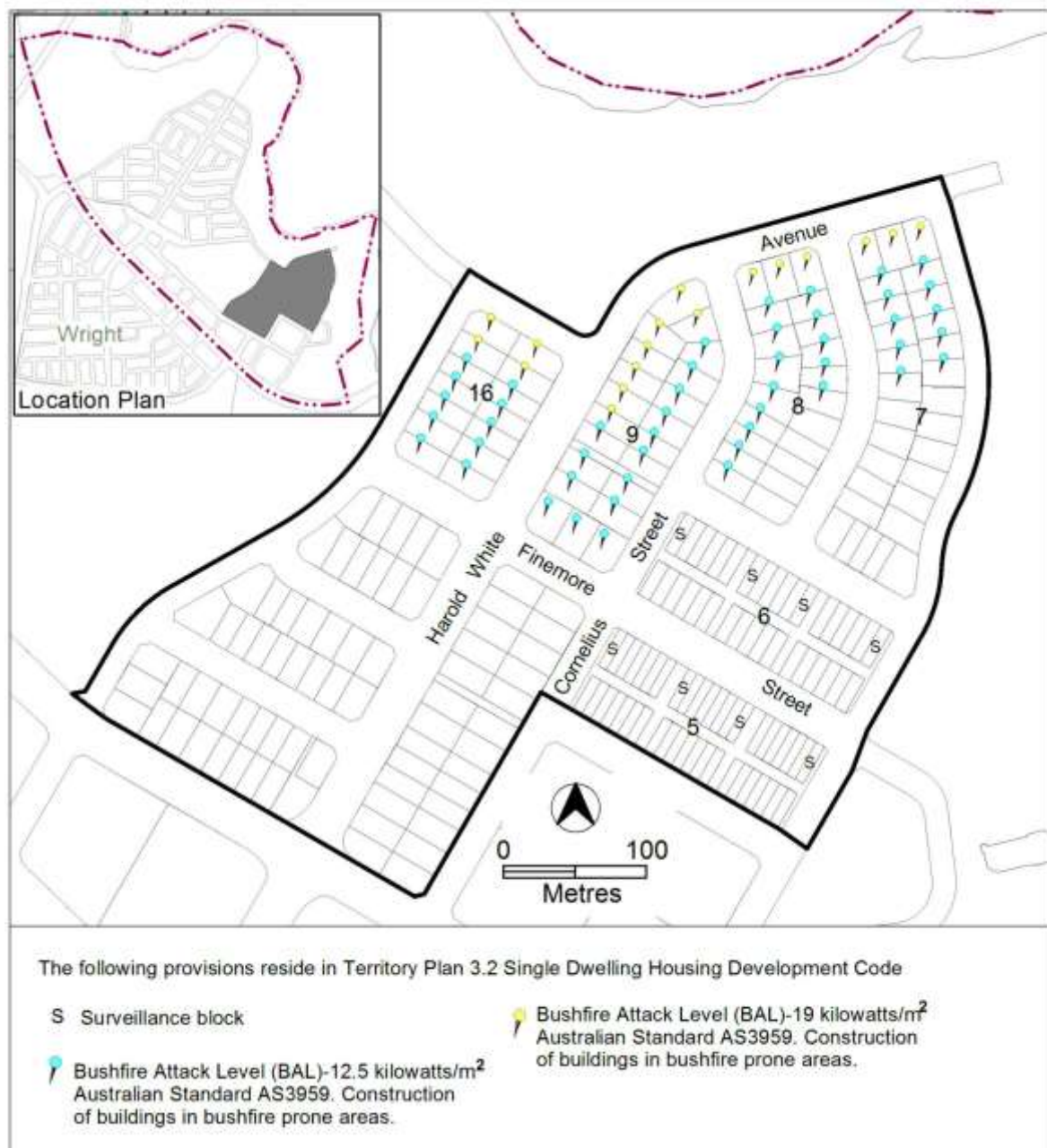


Figure 6 (Coombs) – ongoing provisions

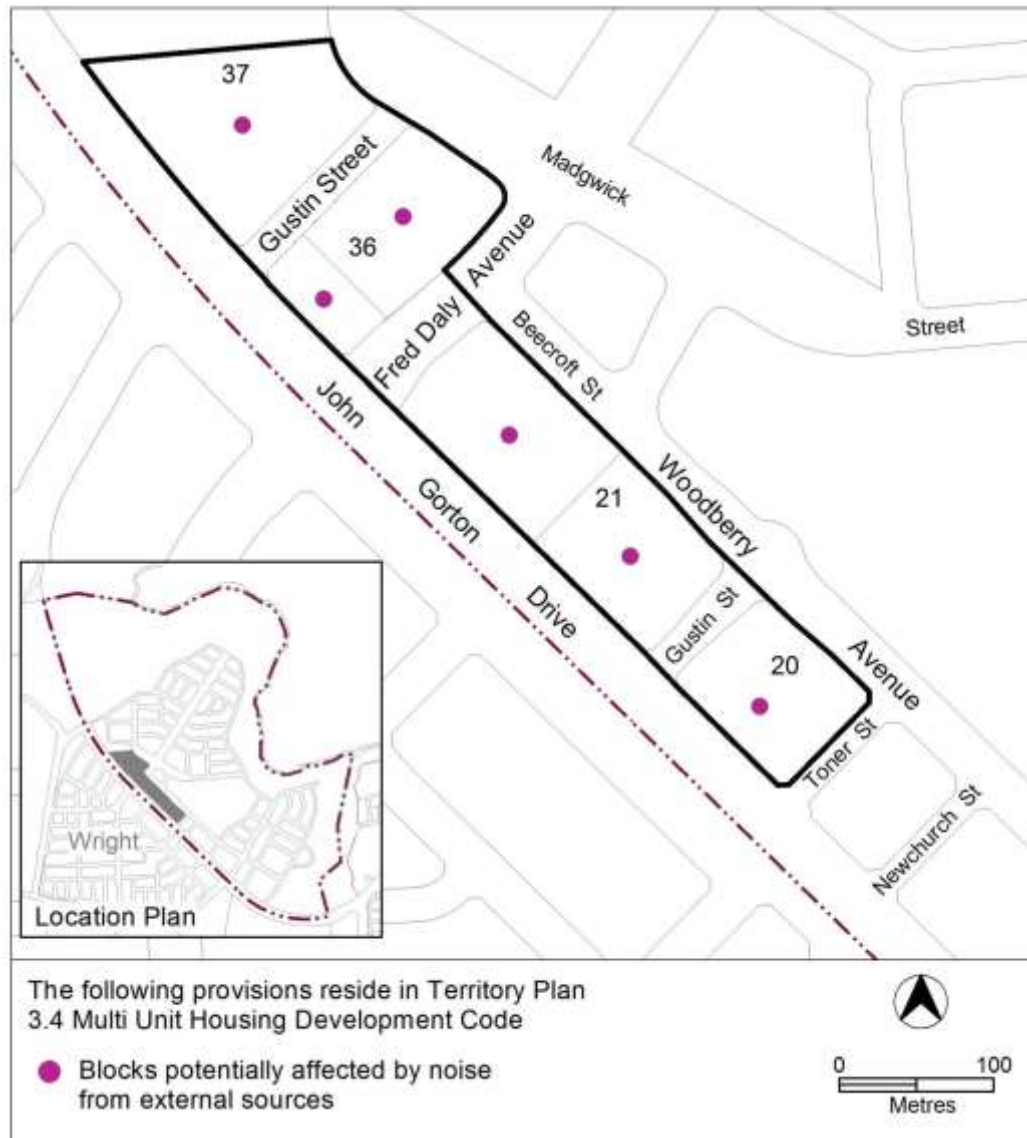


Figure 7 (Coombs) – ongoing provisions

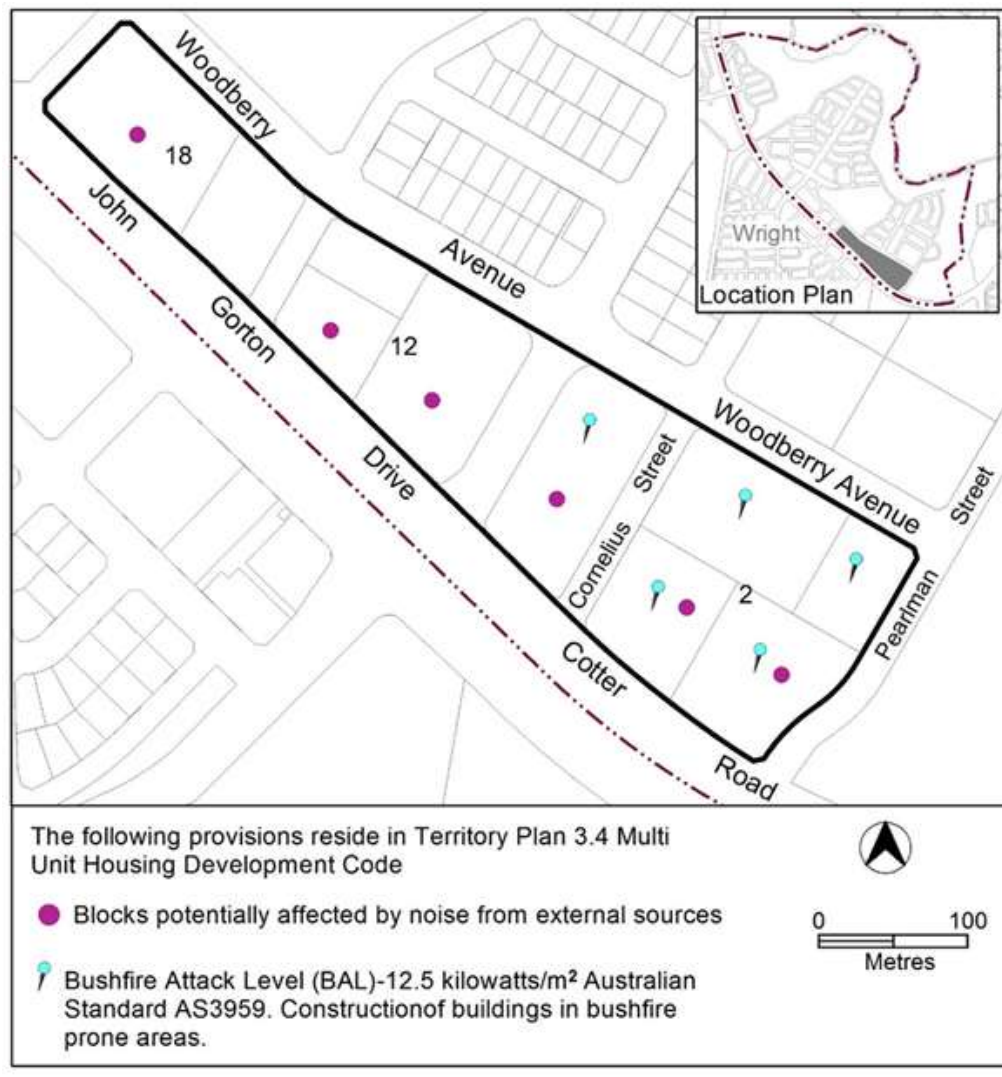


Figure 8 (Coombs) – ongoing provisions

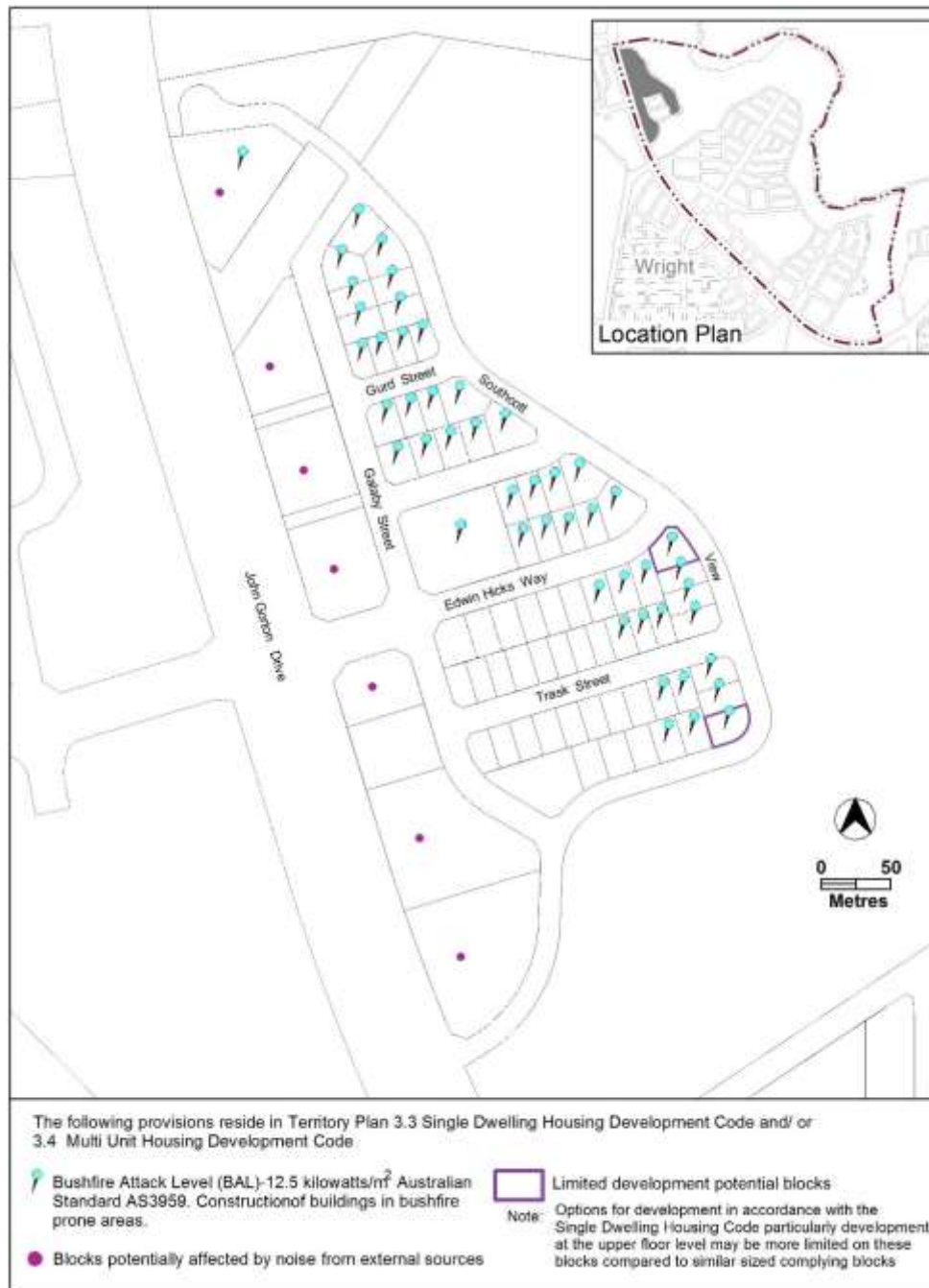


Figure 9 (Denman Prospect)



Figure 10 (Denman Prospect)

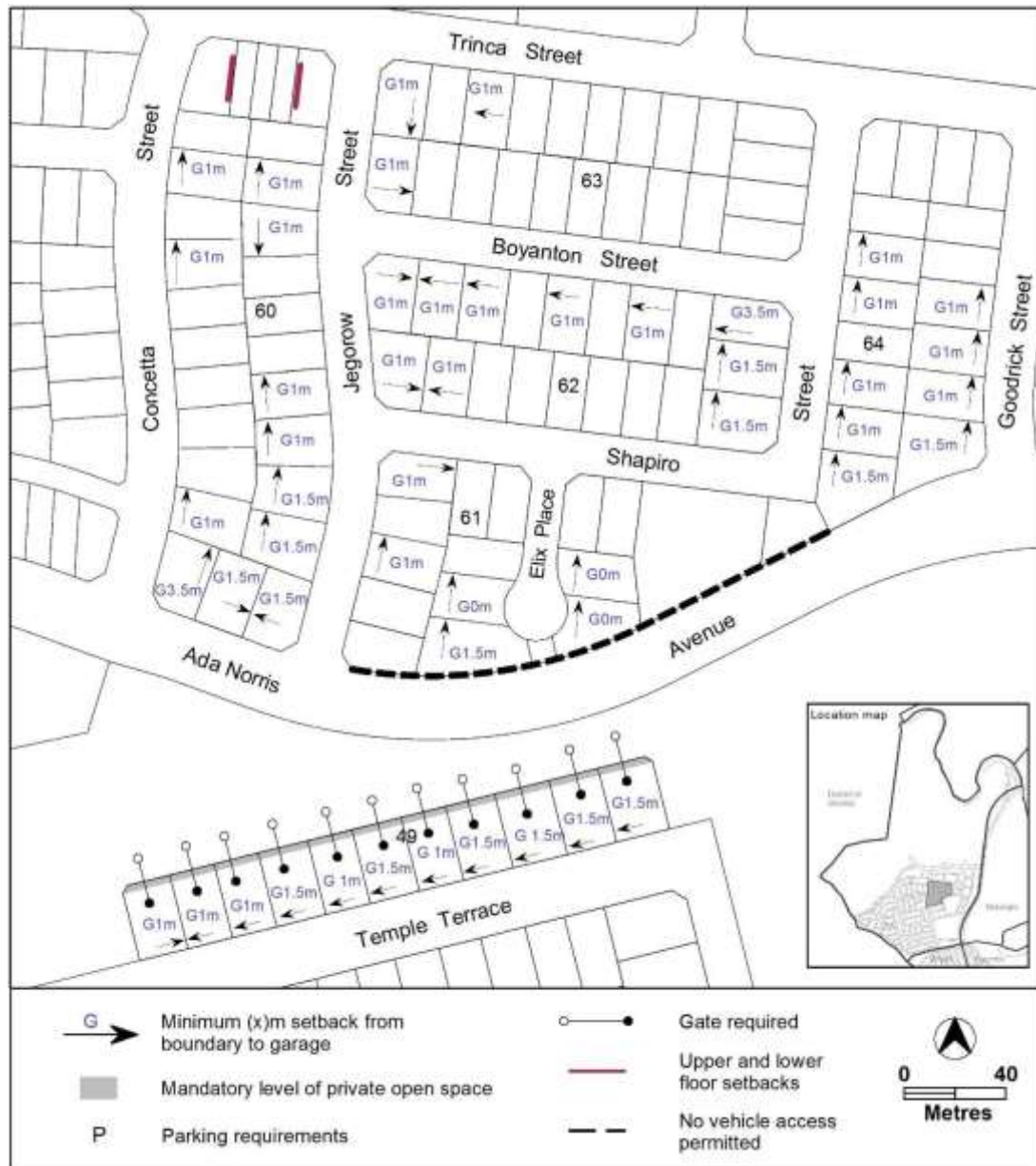


Figure 11 (Denman Prospect)

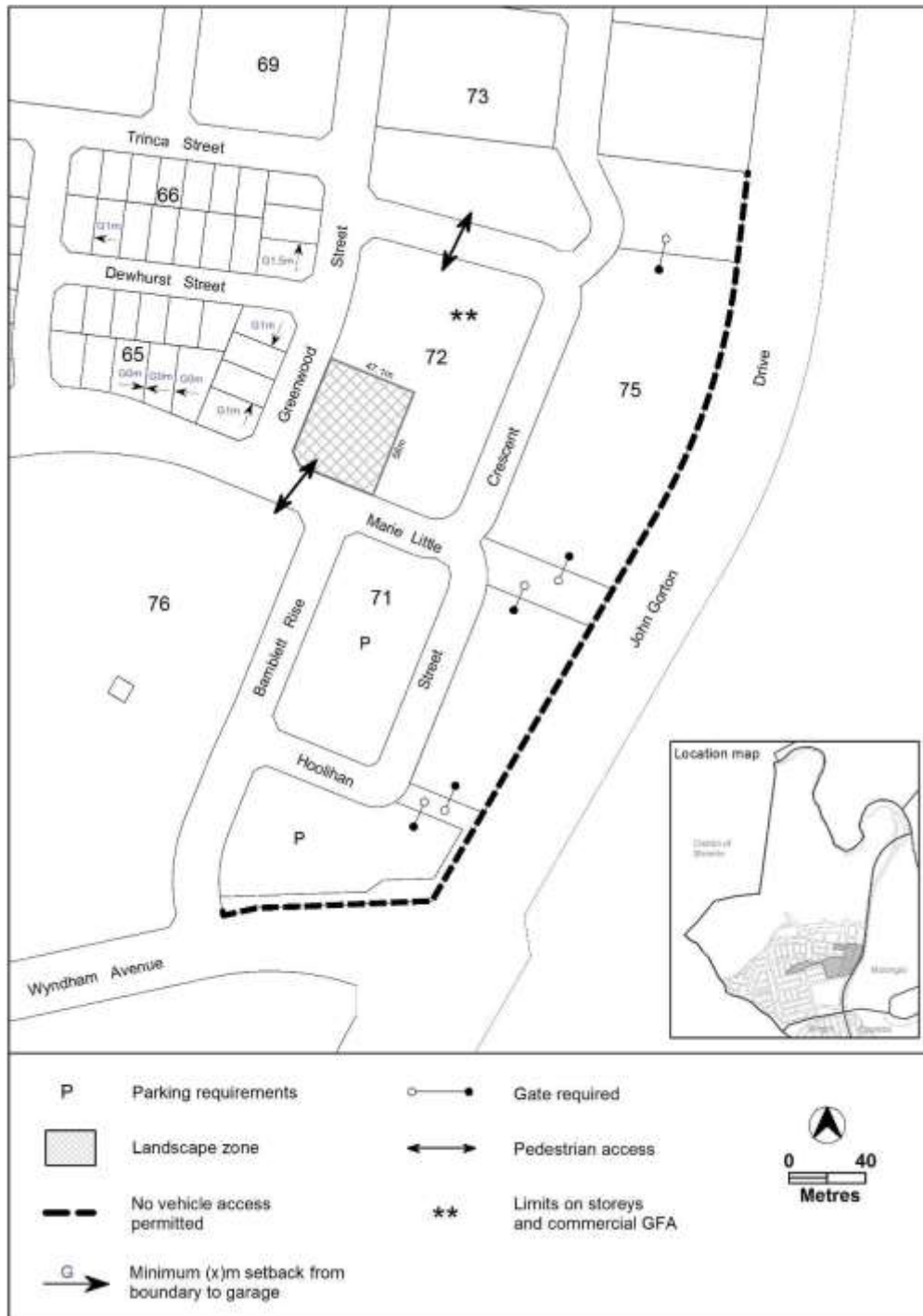


Figure 12 (Denman Prospect)

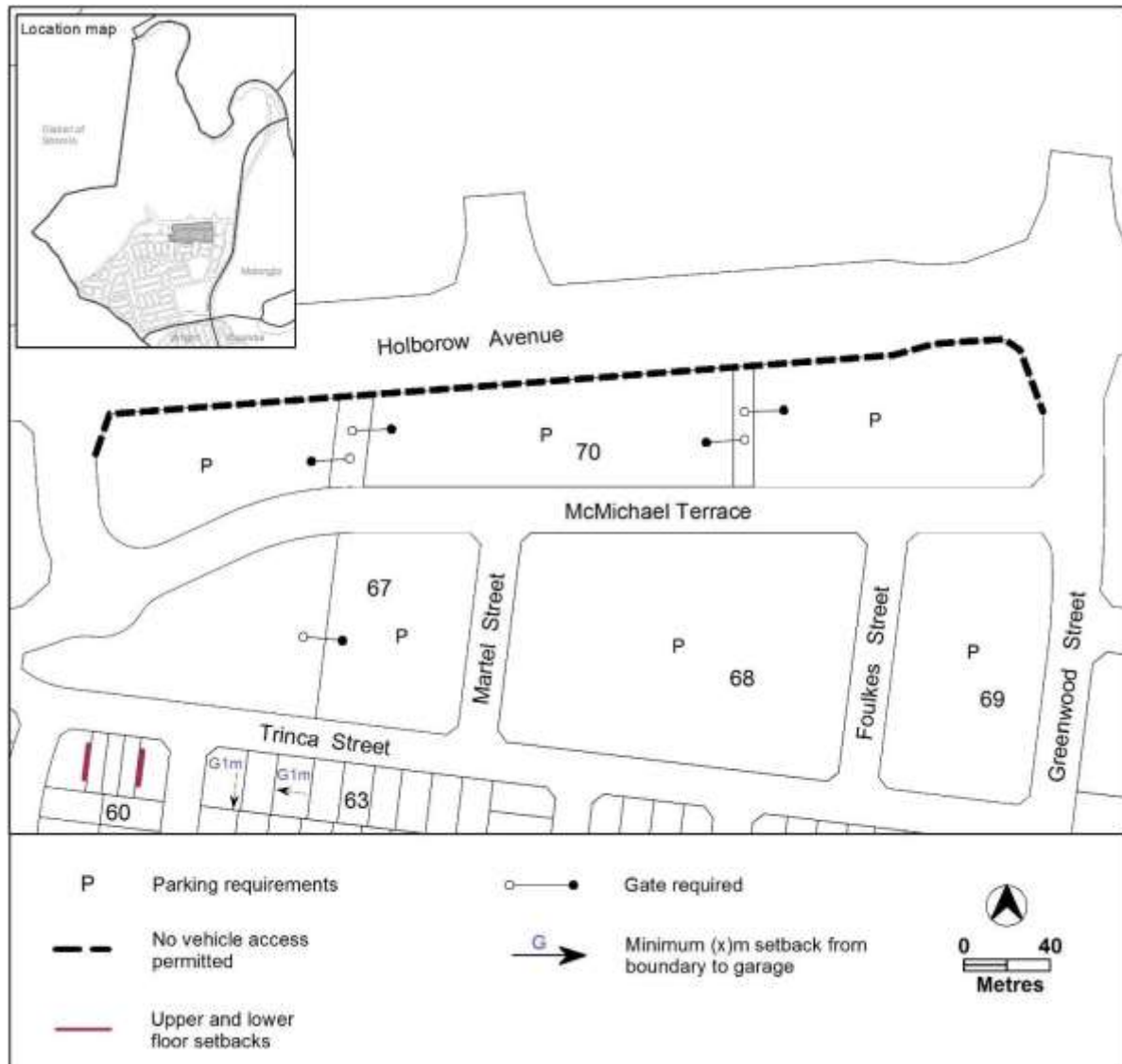


Figure 13 (Denman Prospect)

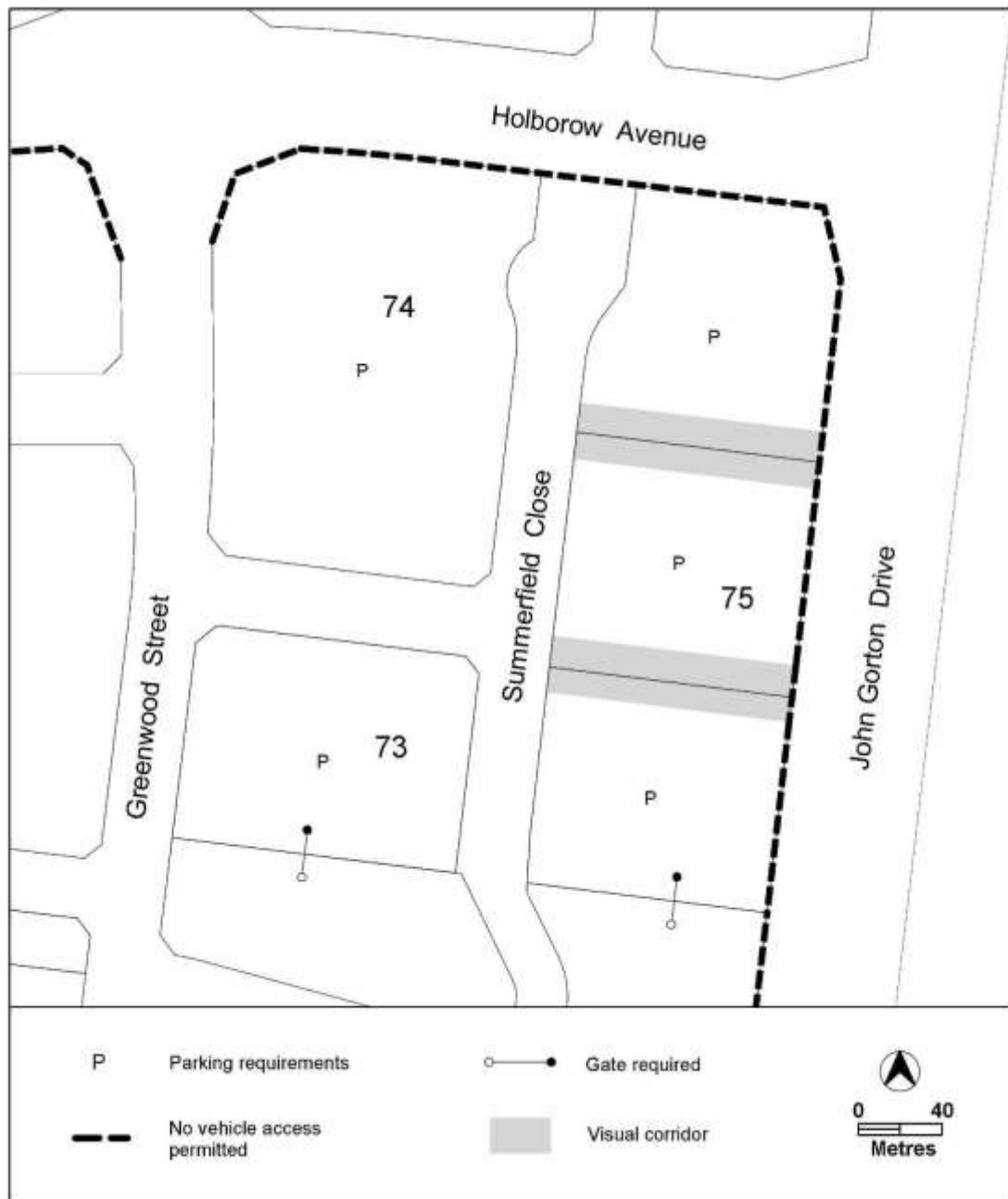


Figure 14 (Denman Prospect



Figure 15 (Denman Prospect)

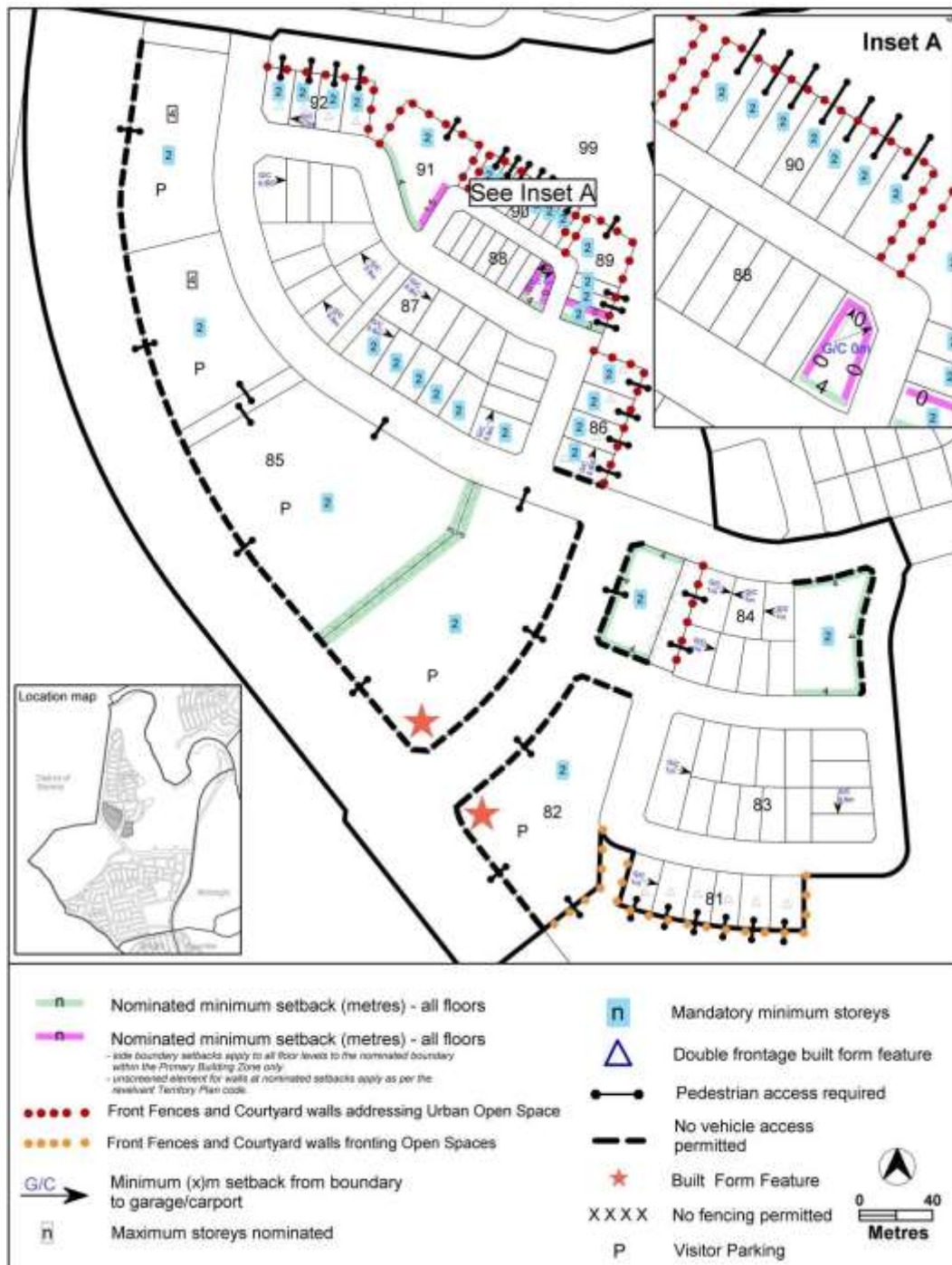


Figure 16 (Denman Prospect) - ongoing provisions

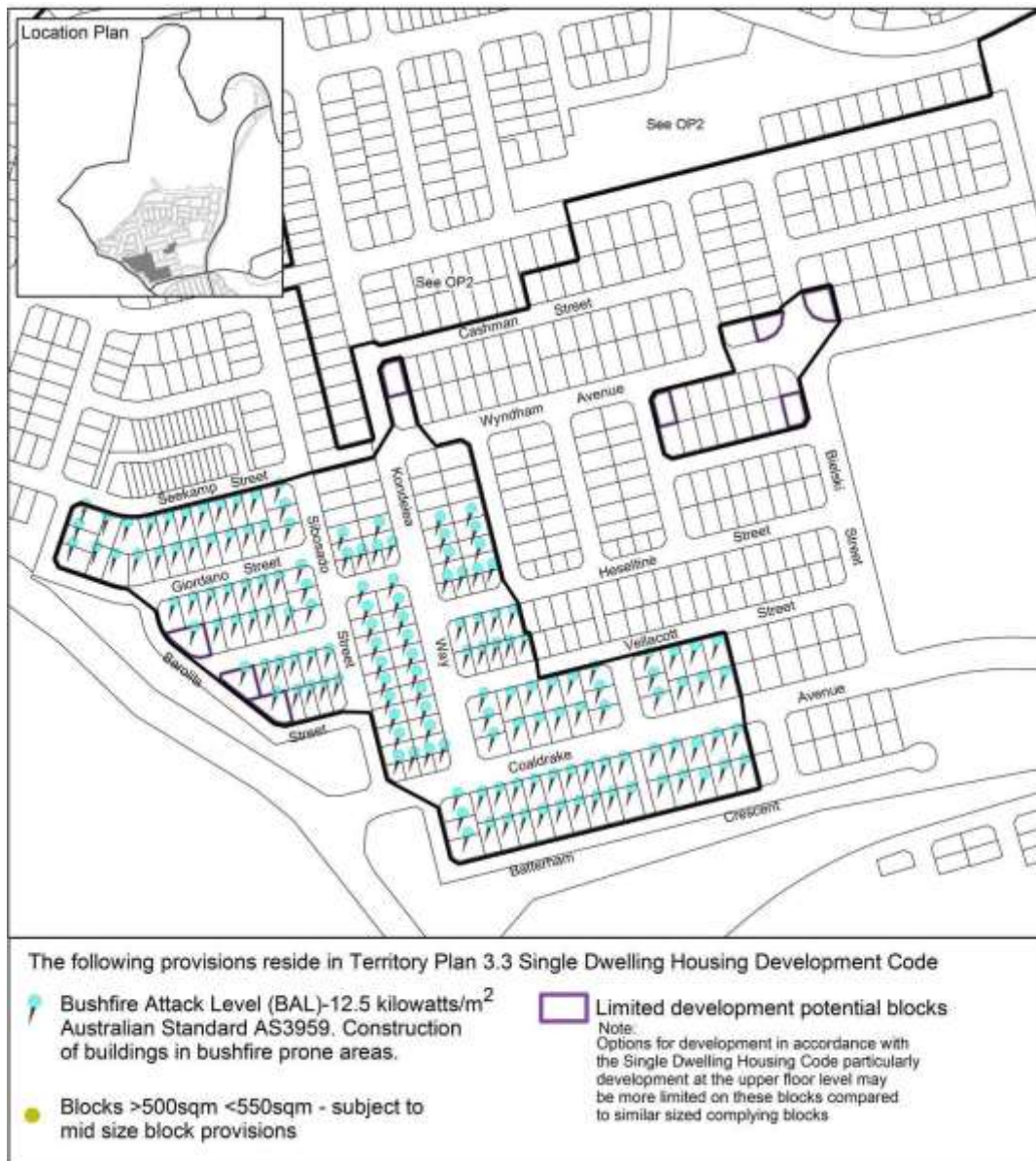


Figure 17 (Denman Prospect) - ongoing provisions

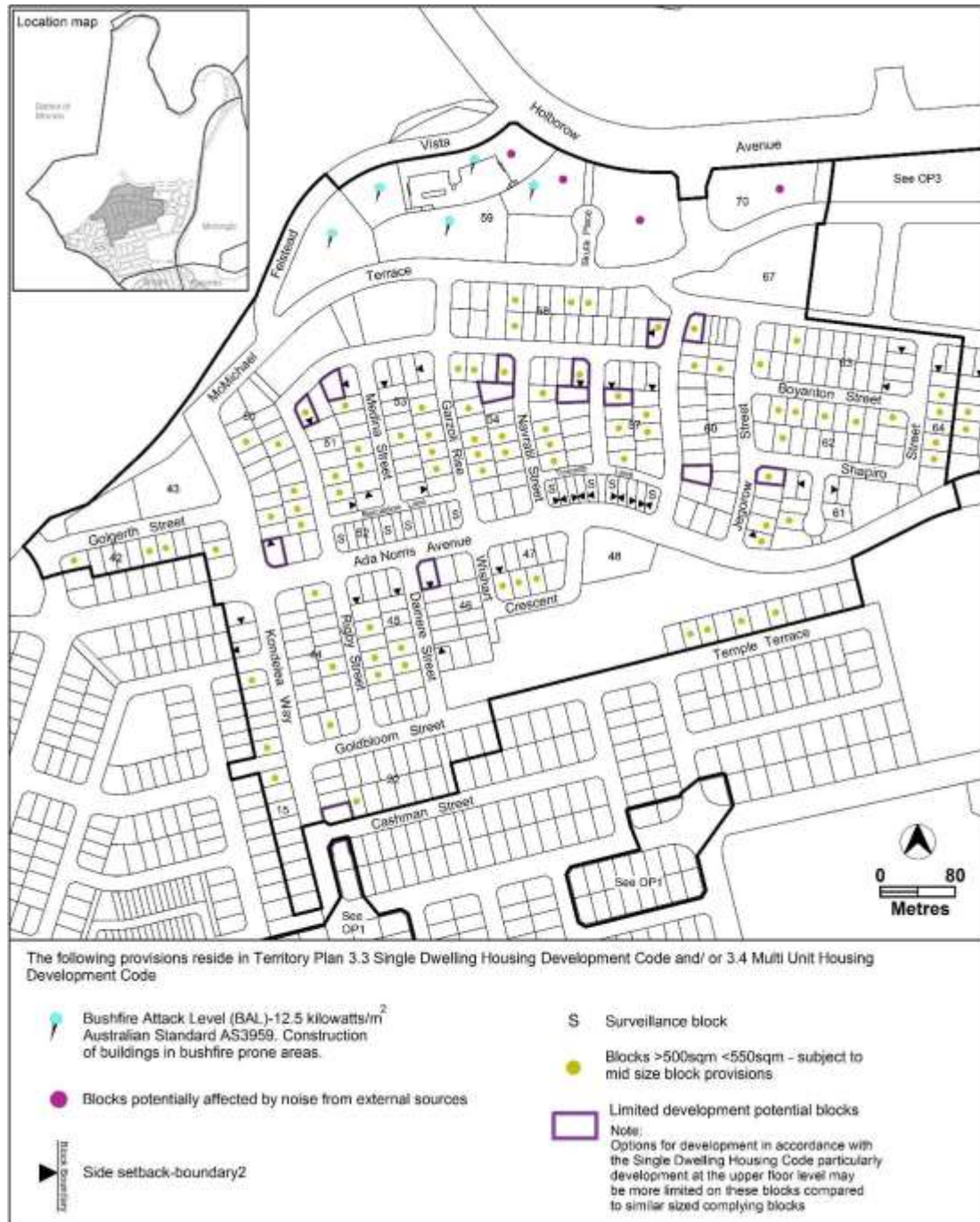


Figure 18 (Denman Prospect) - ongoing provisions



Figure 19 (Denman Prospect) - ongoing provisions

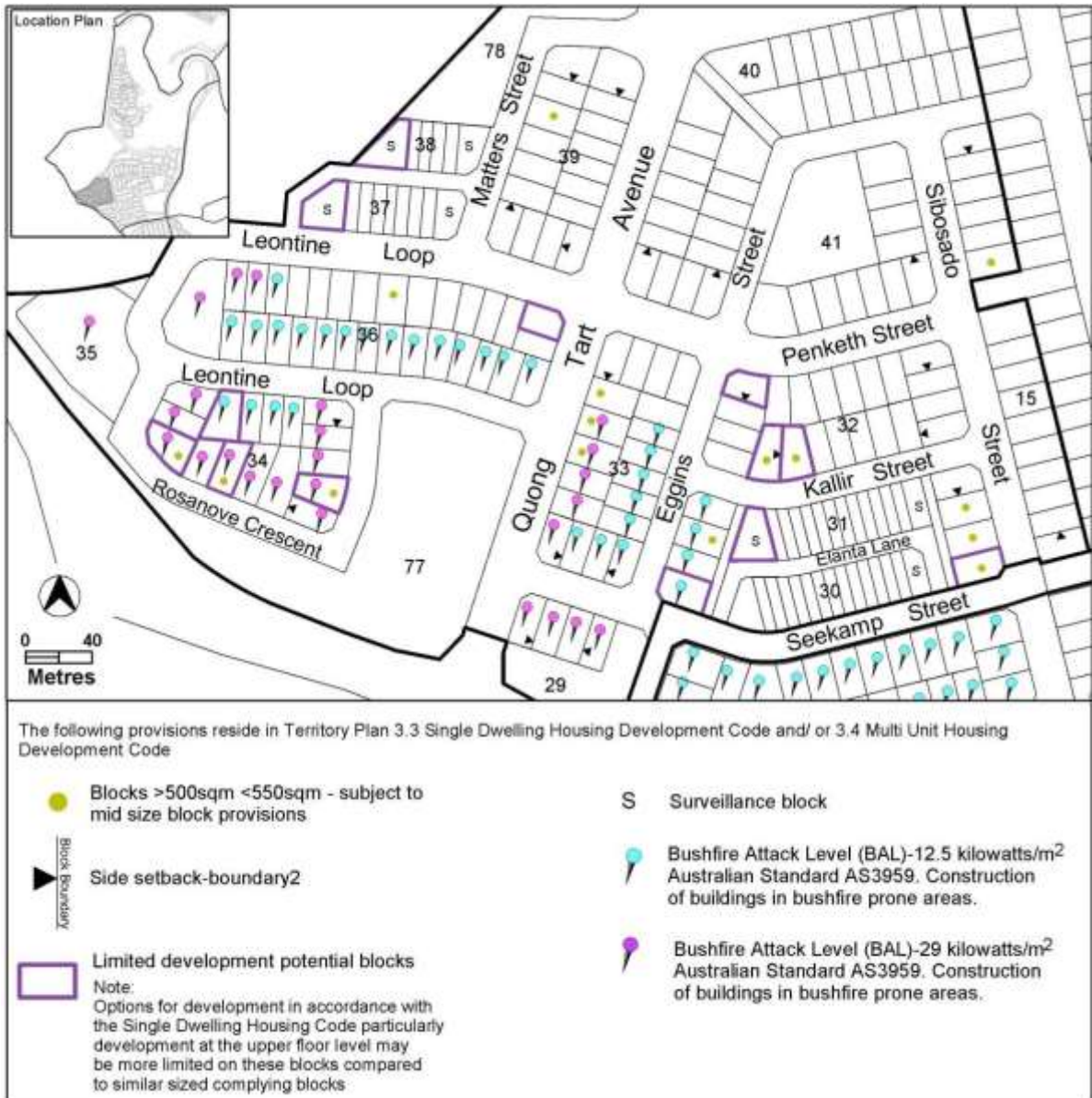


Figure 20 (Denman Prospect) - ongoing provisions

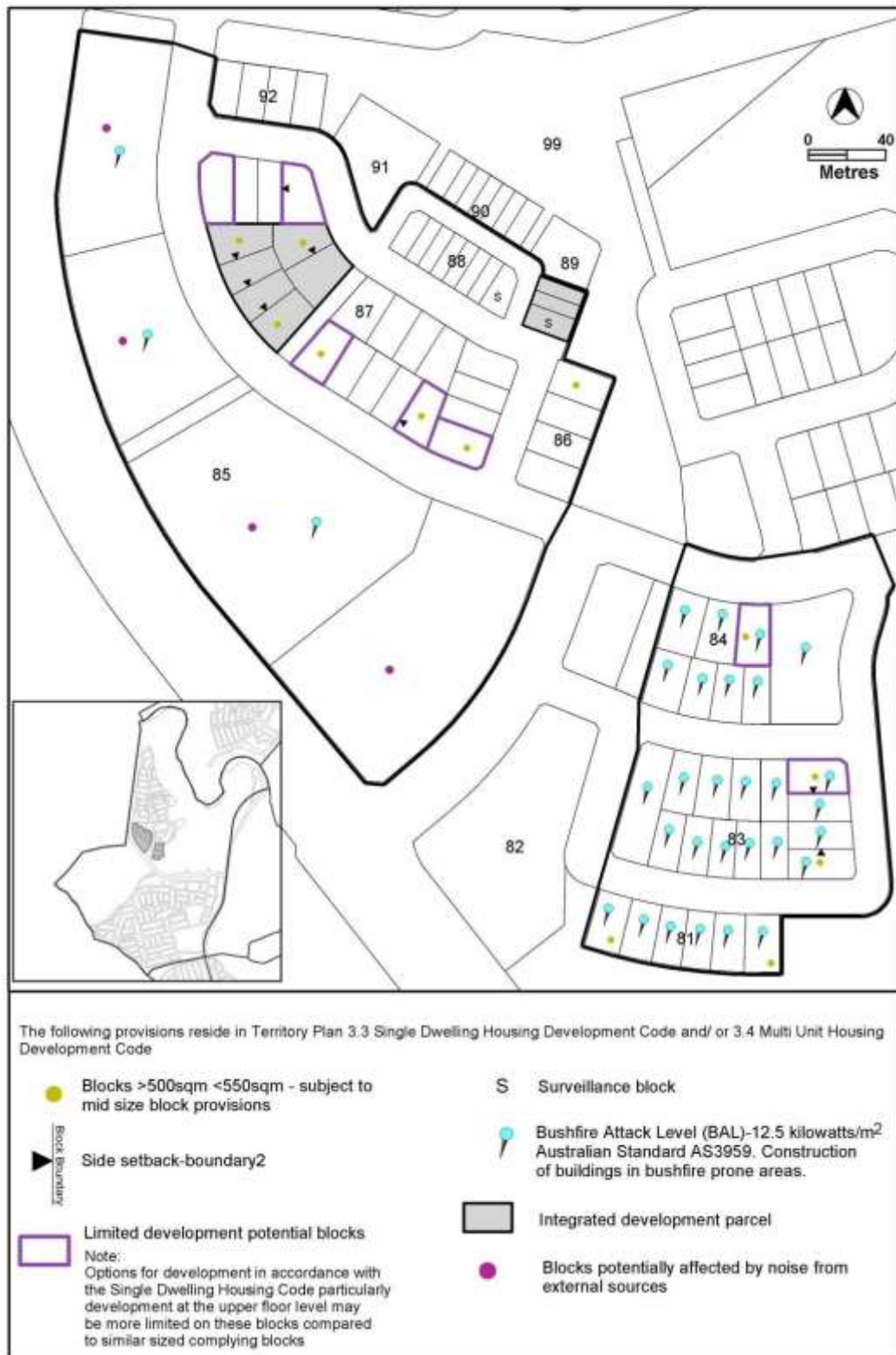
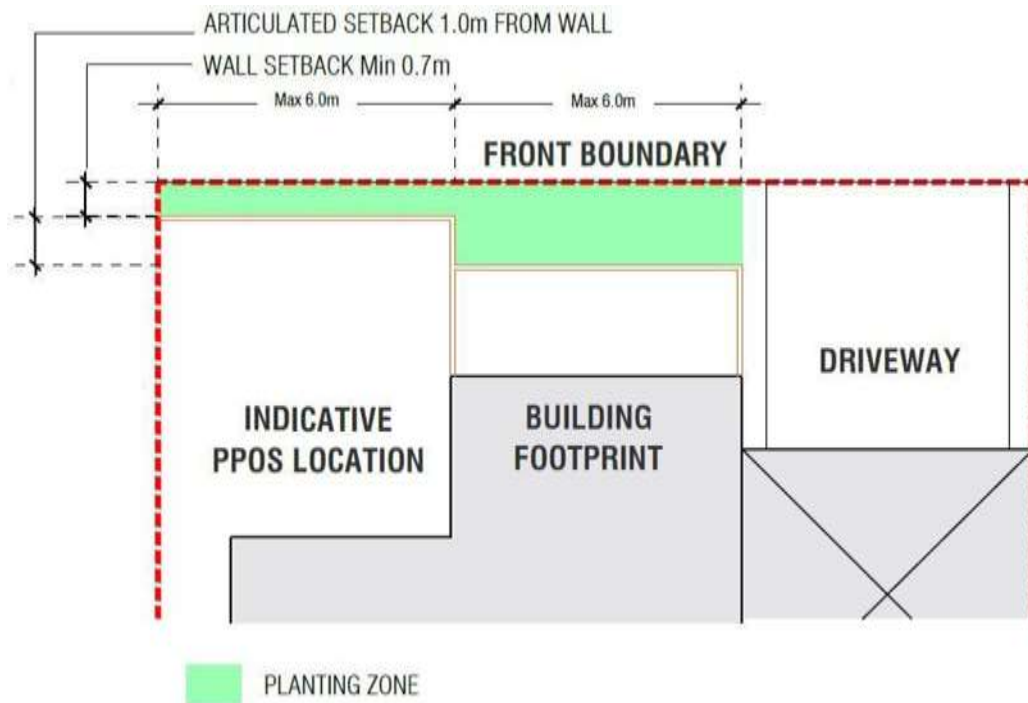
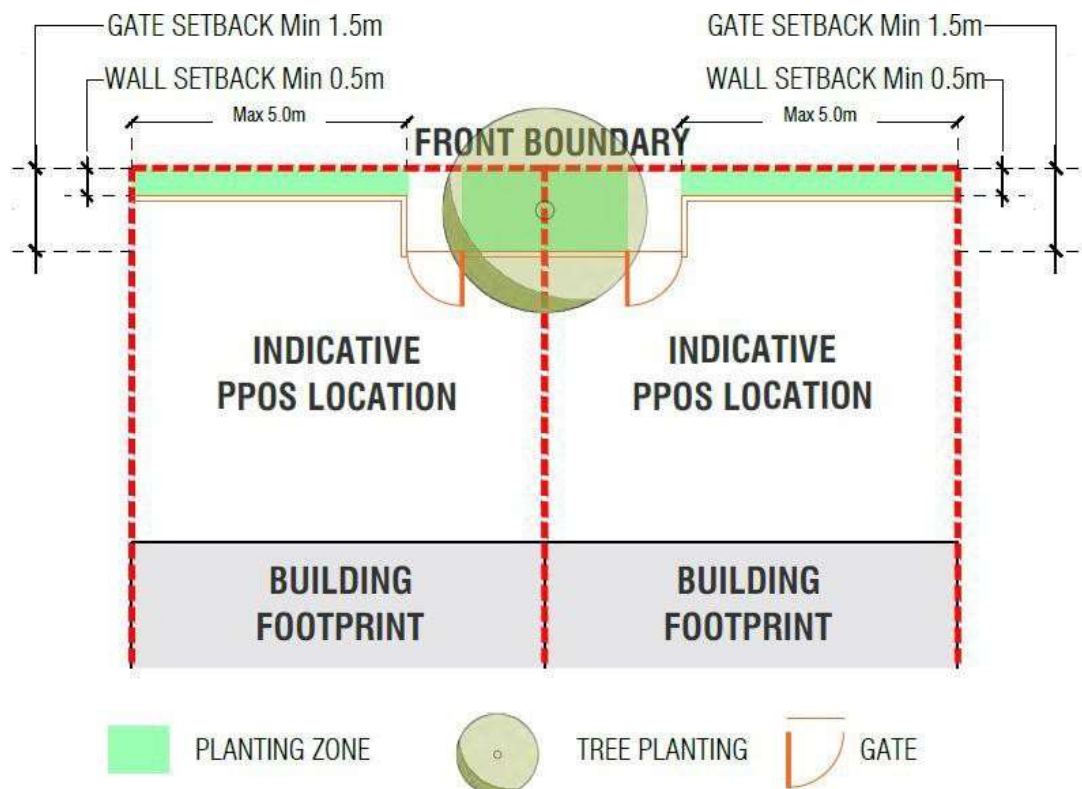


Figure 21 (Denman Prospect)



Example of courtyard wall location – articulated planting zone



Example of courtyard wall location – dwellings fronting urban open space

Figure 22 (Whitlam)

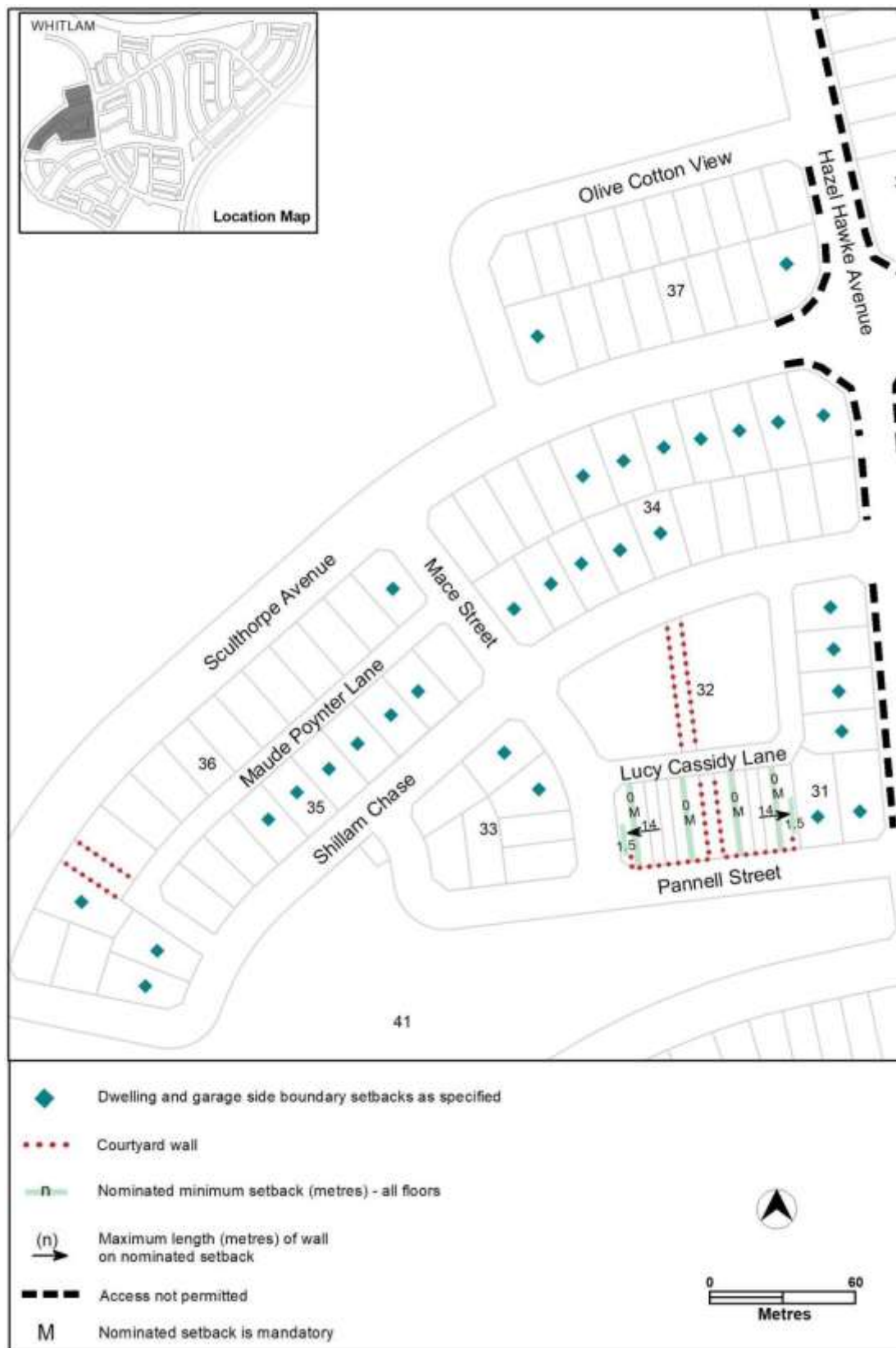


Figure 23 (Whitlam)

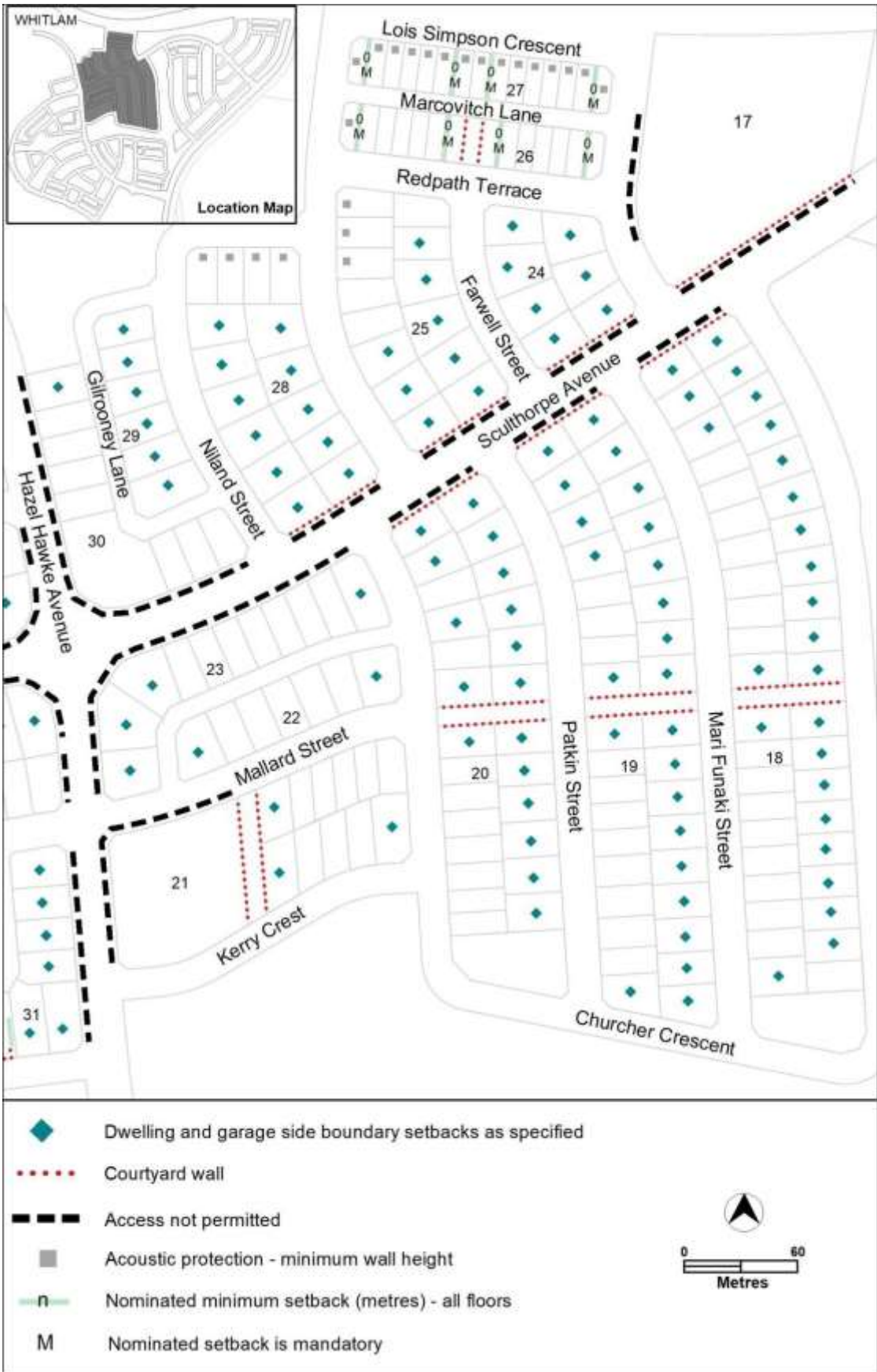


Figure 24 (Whitlam)

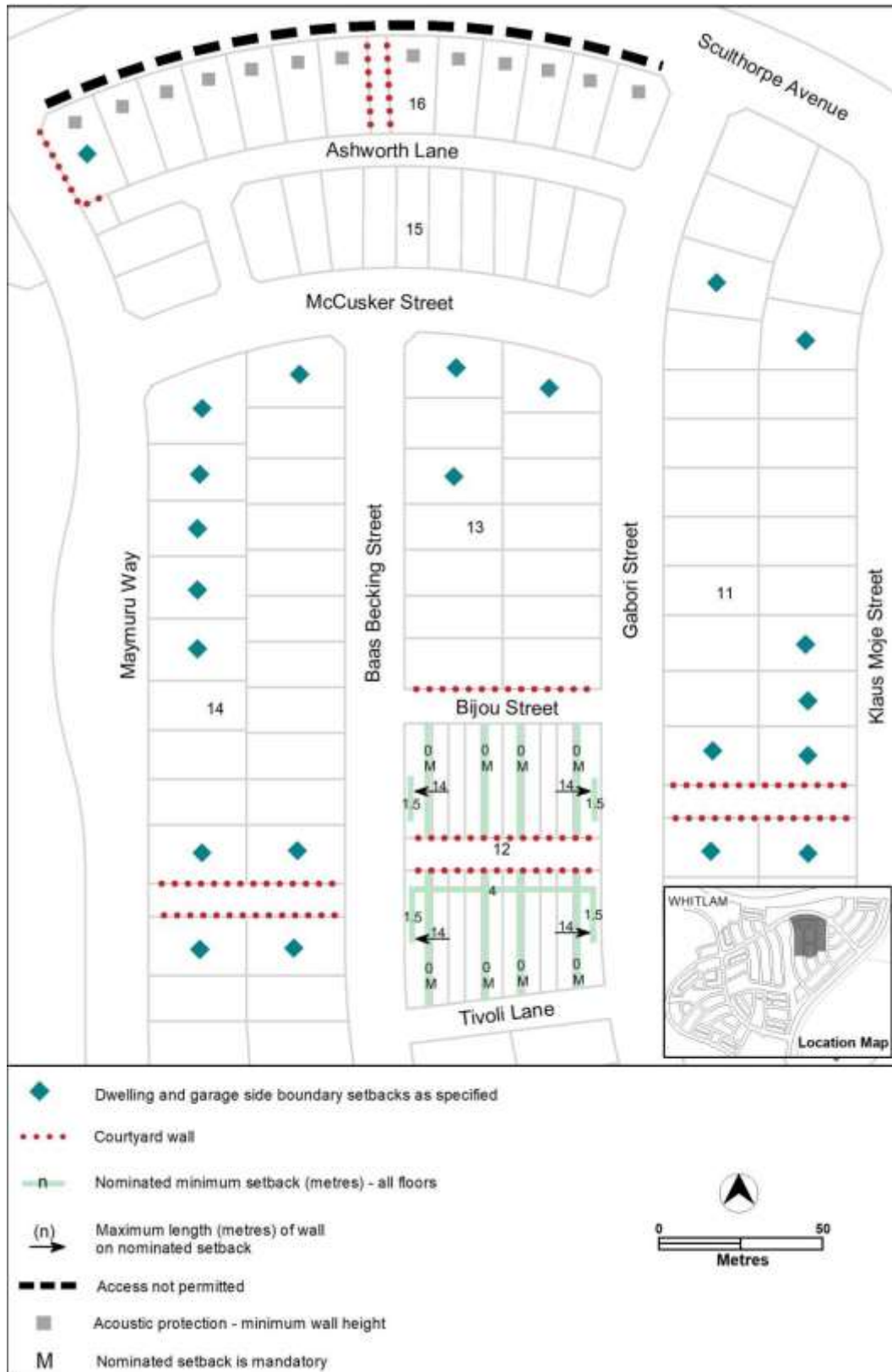


Figure 25 (Whitlam)

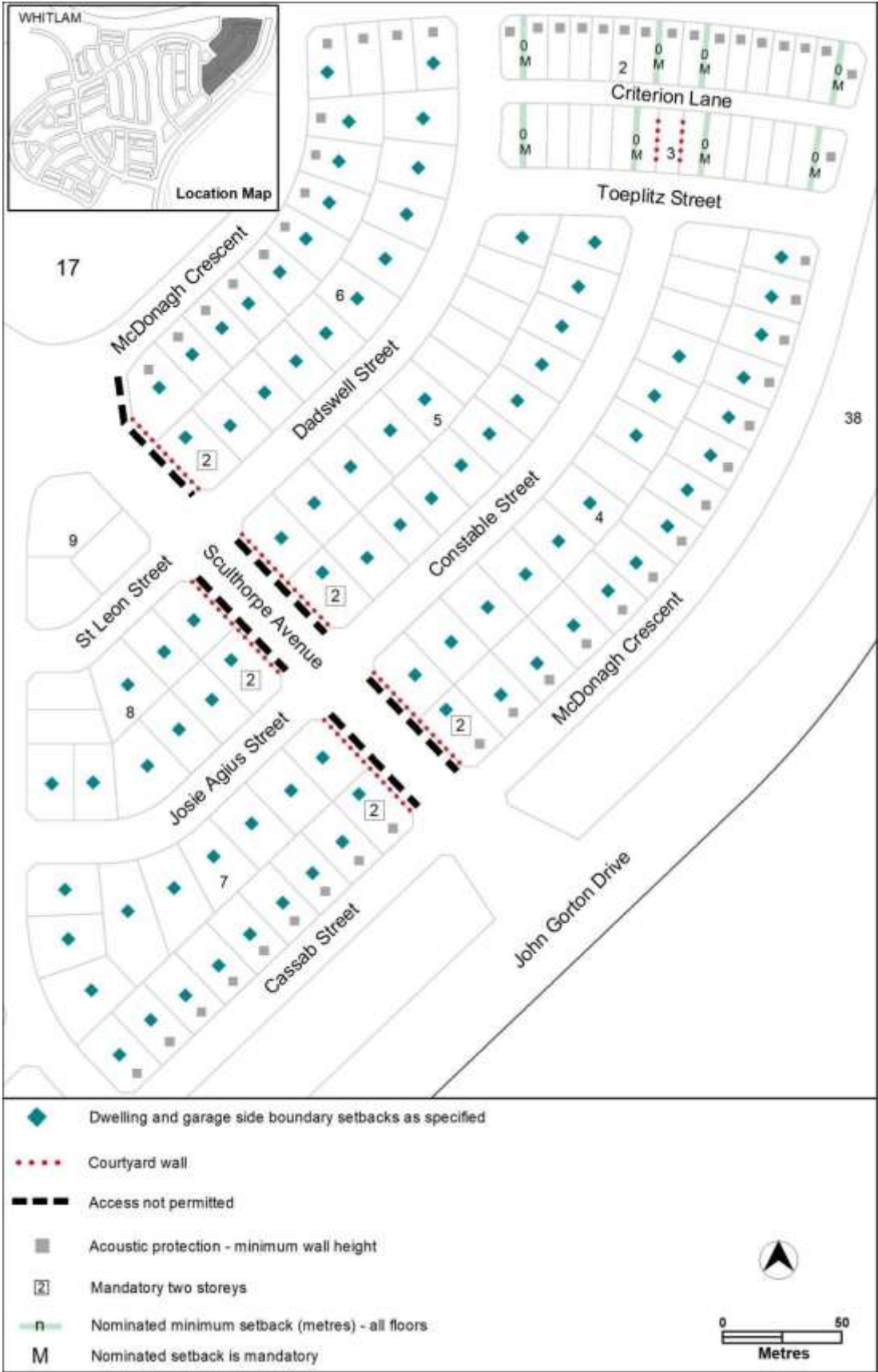


Figure 26 (Whitlam)

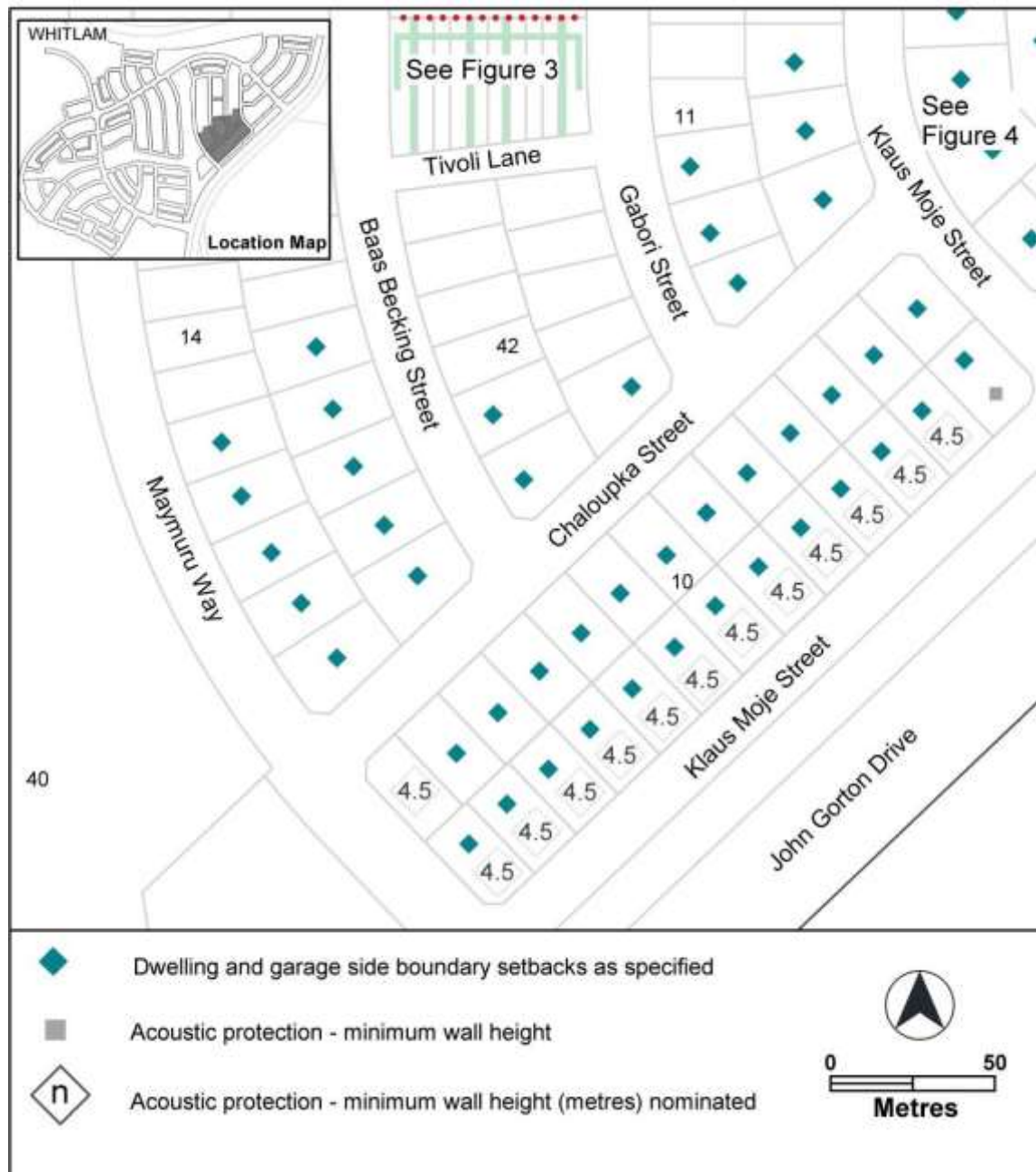


Figure 27 (Whitlam)

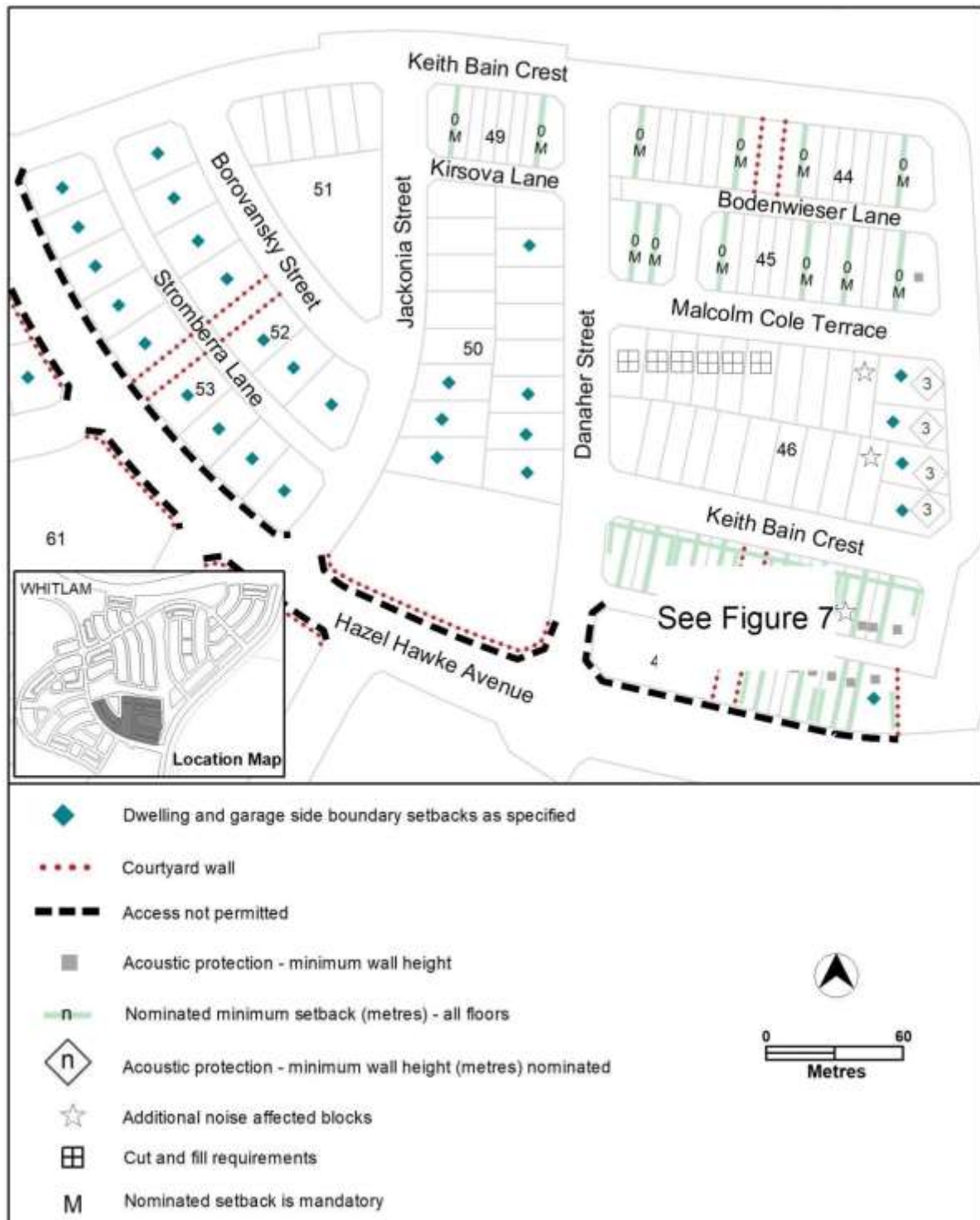


Figure 28 (Whitlam)

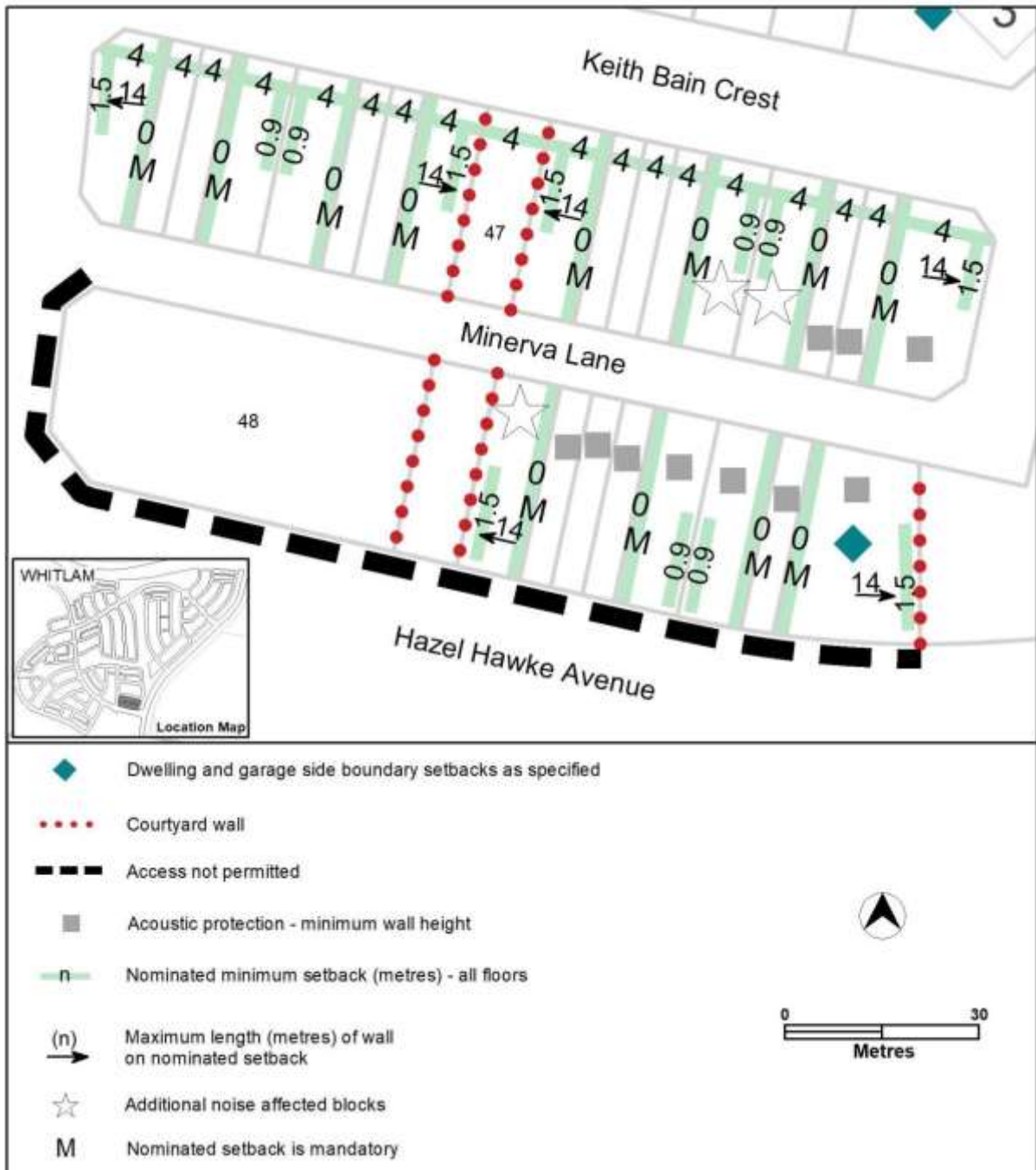


Figure 29 (Whitlam)

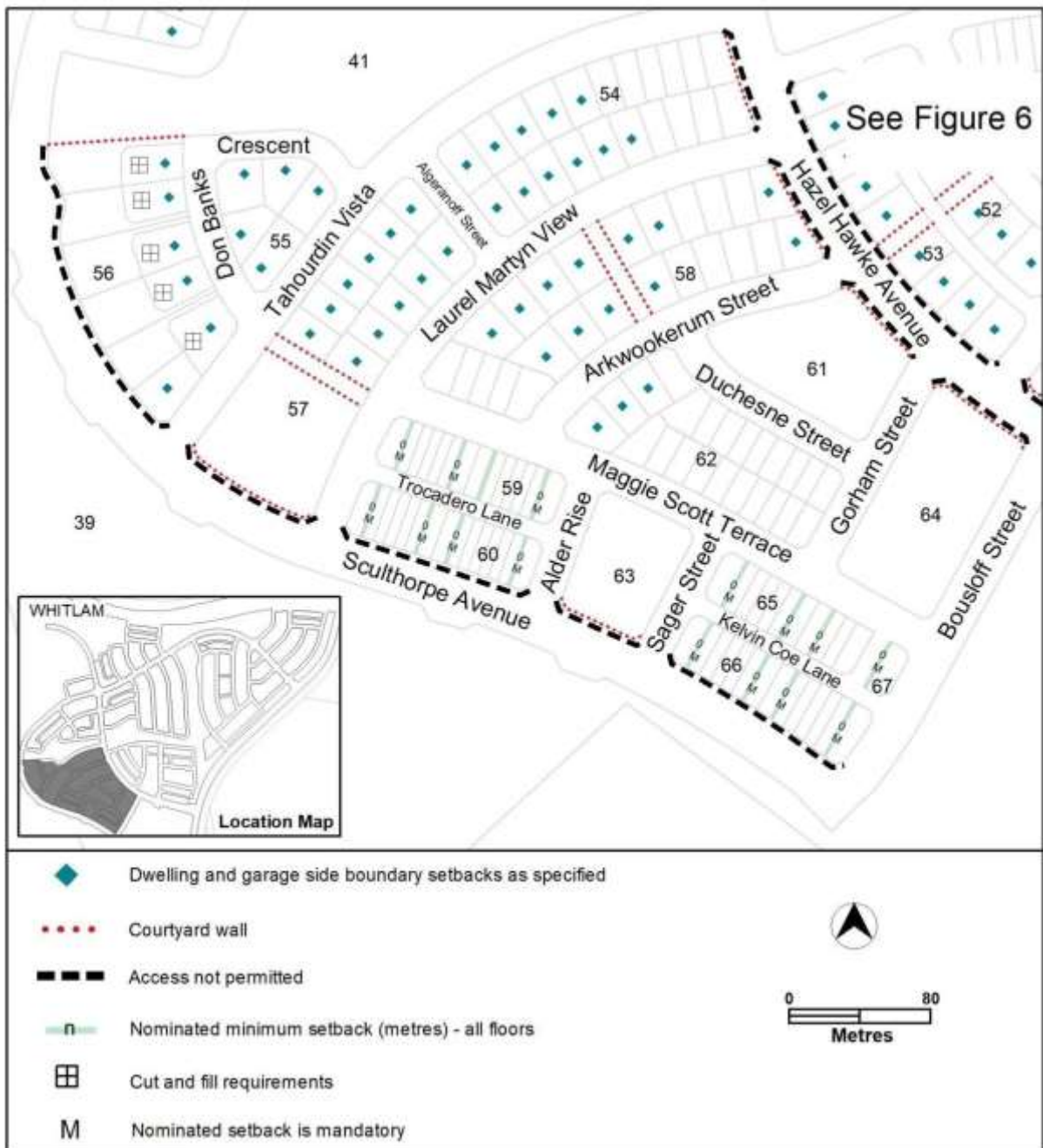
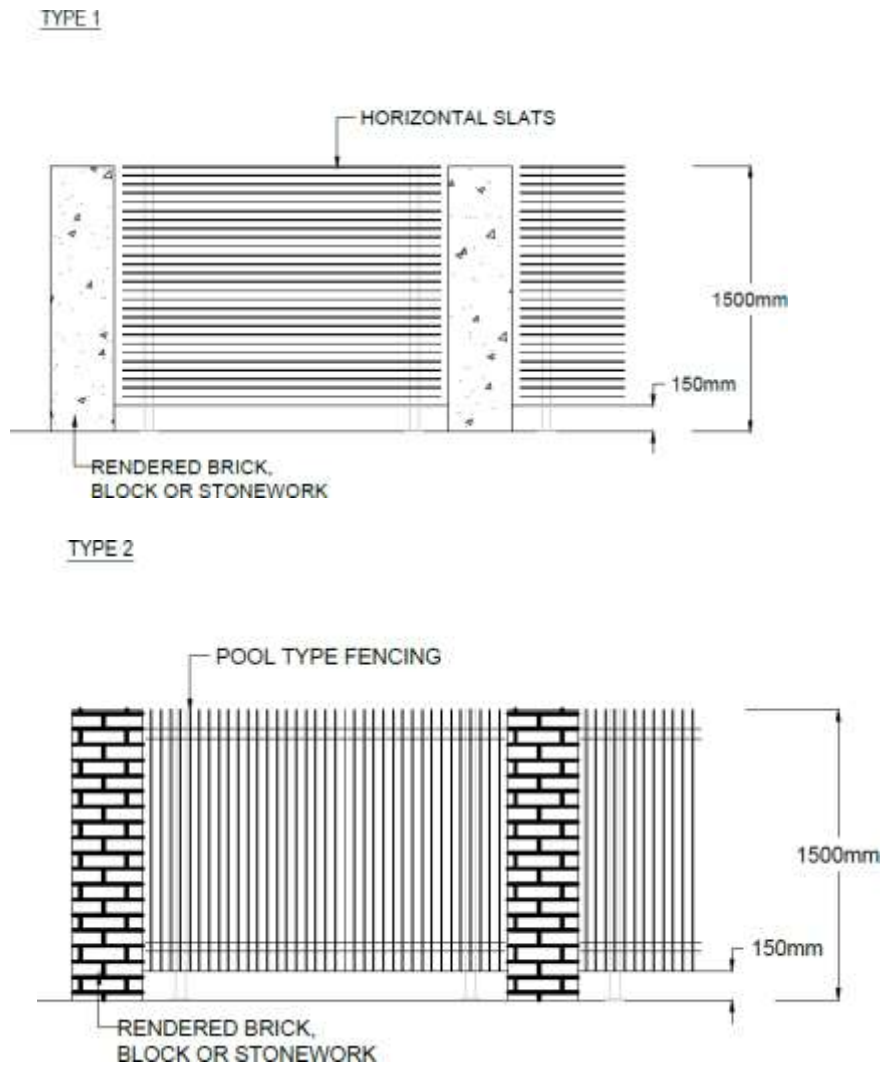


Figure 30 (Whitlam)



Elevation of courtyard wall

Figure 31 (Whitlam)- ongoing provisions

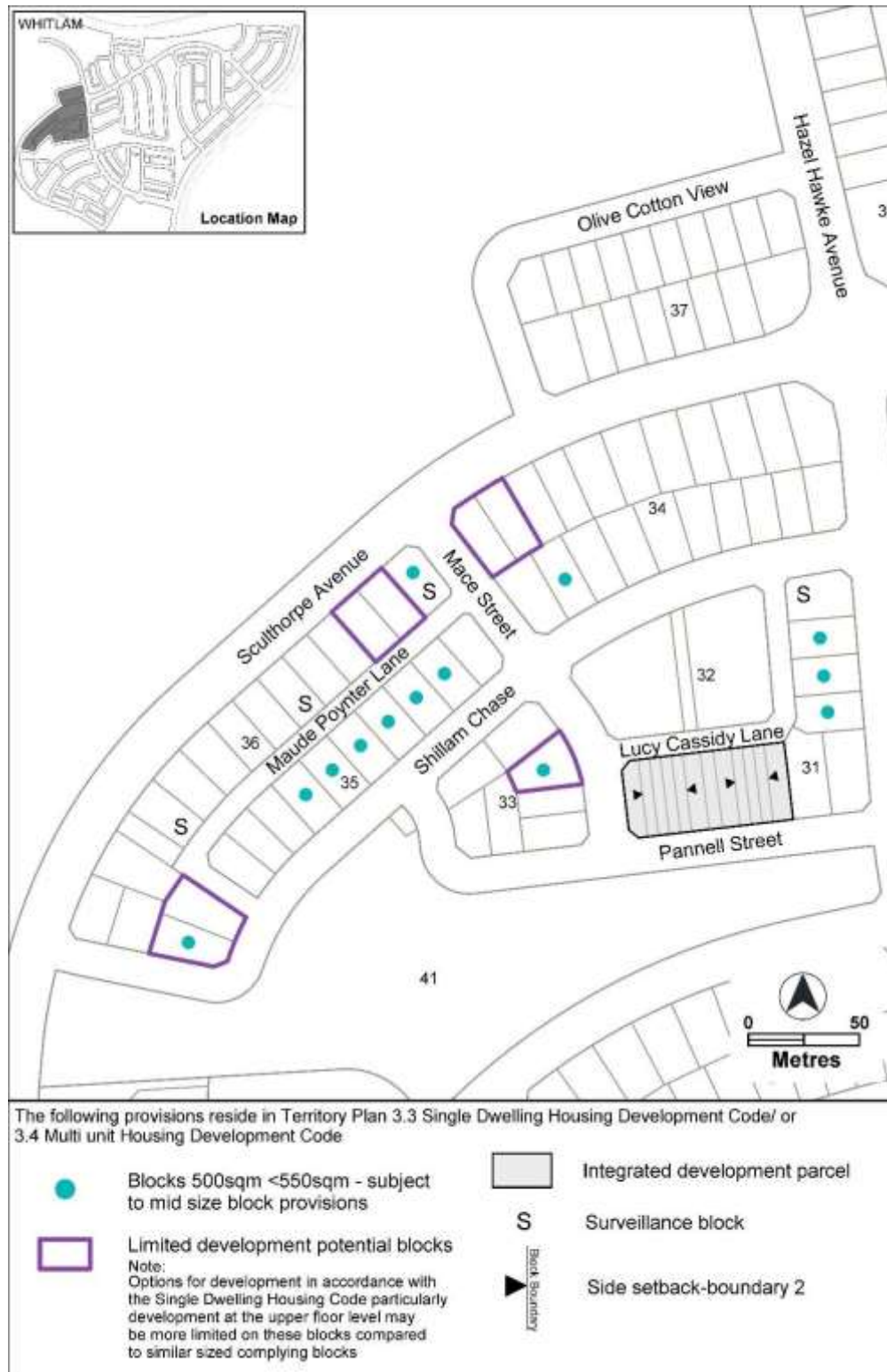


Figure 32 (Whitlam) – ongoing provisions



Figure 33 (Whitlam) – ongoing provisions



Figure 34 (Whitlam) – ongoing provisions

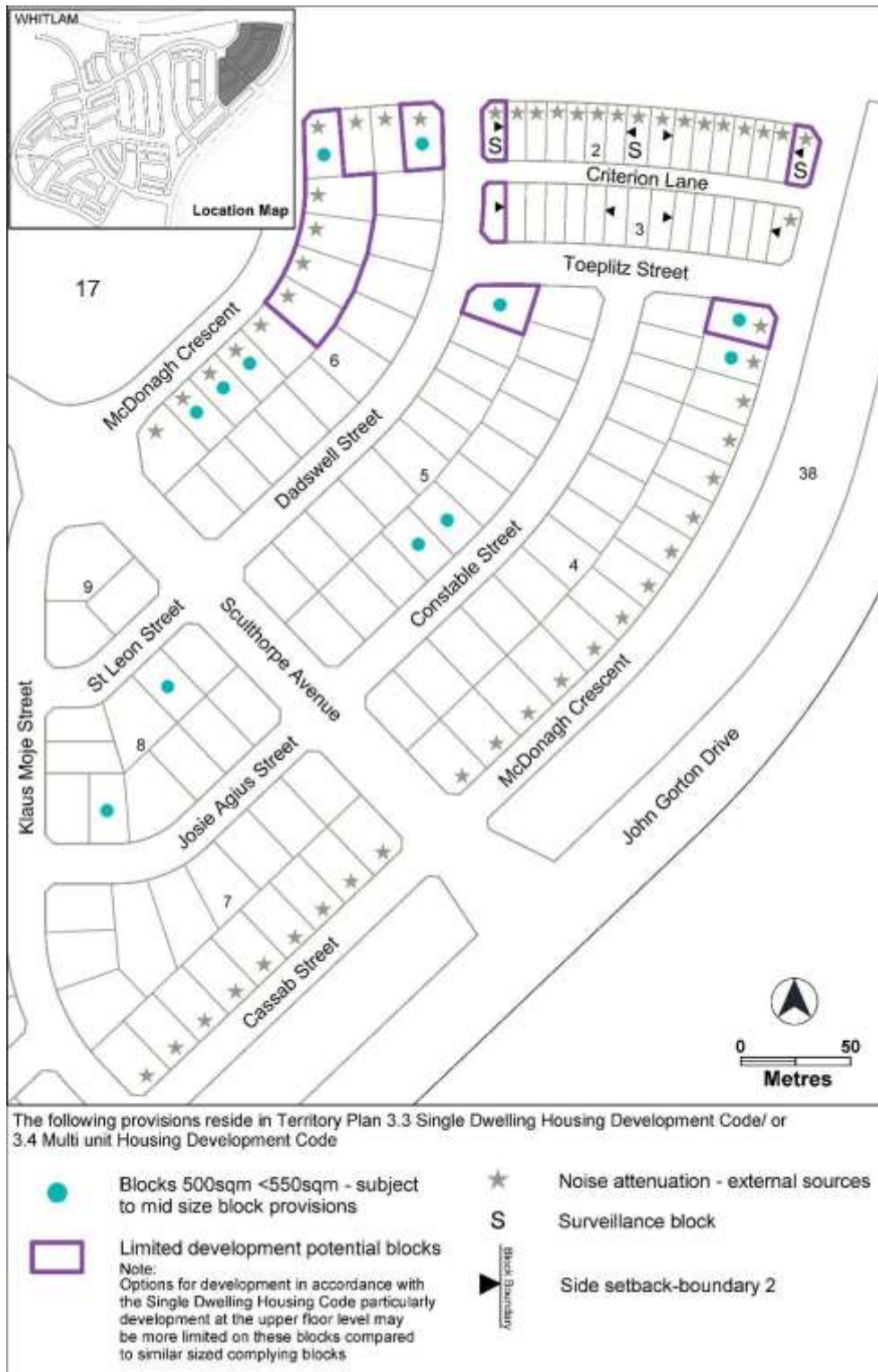


Figure 35 (Whitlam) – ongoing provisions

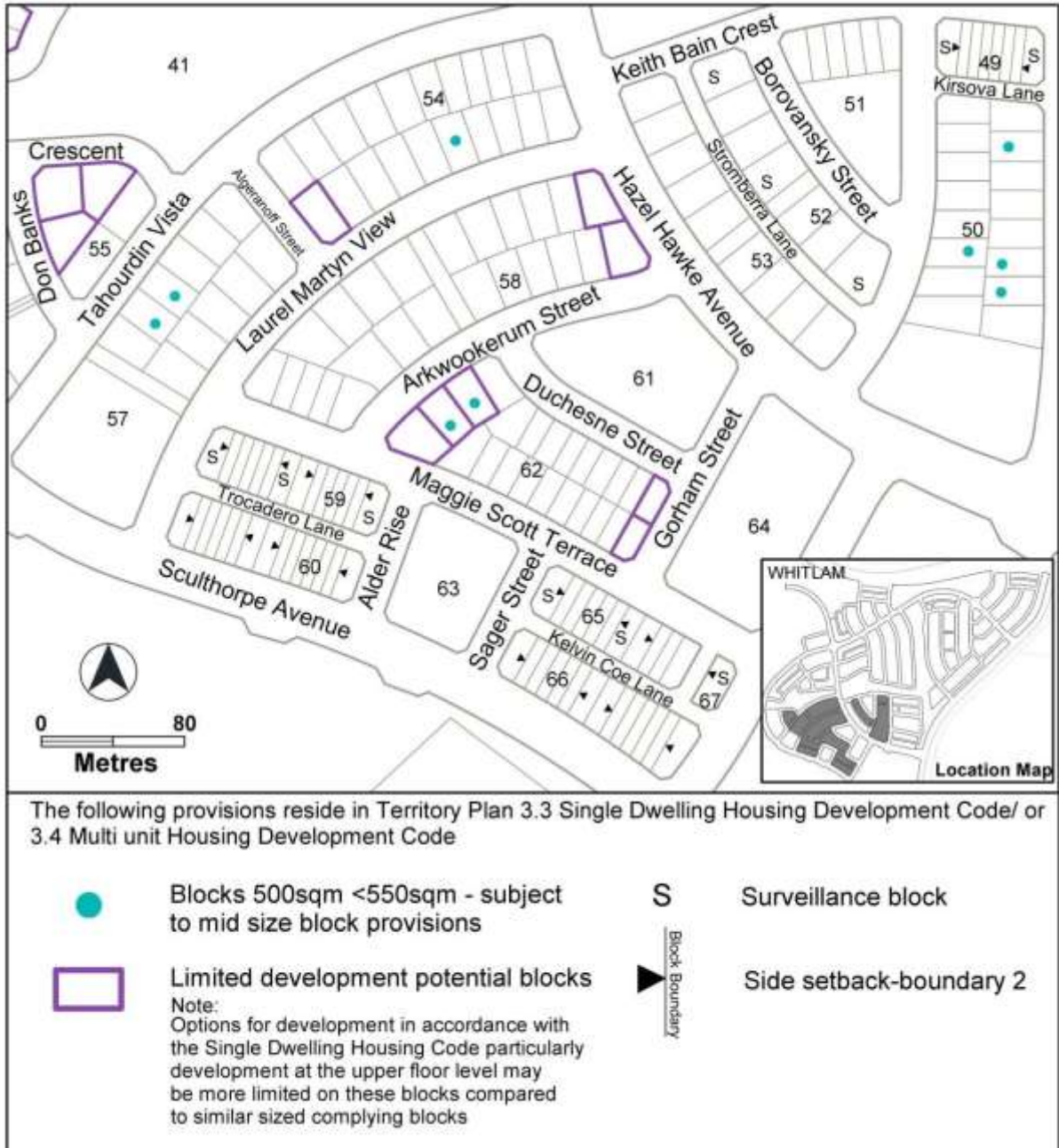


Figure 36 (Whitlam) – ongoing provisions

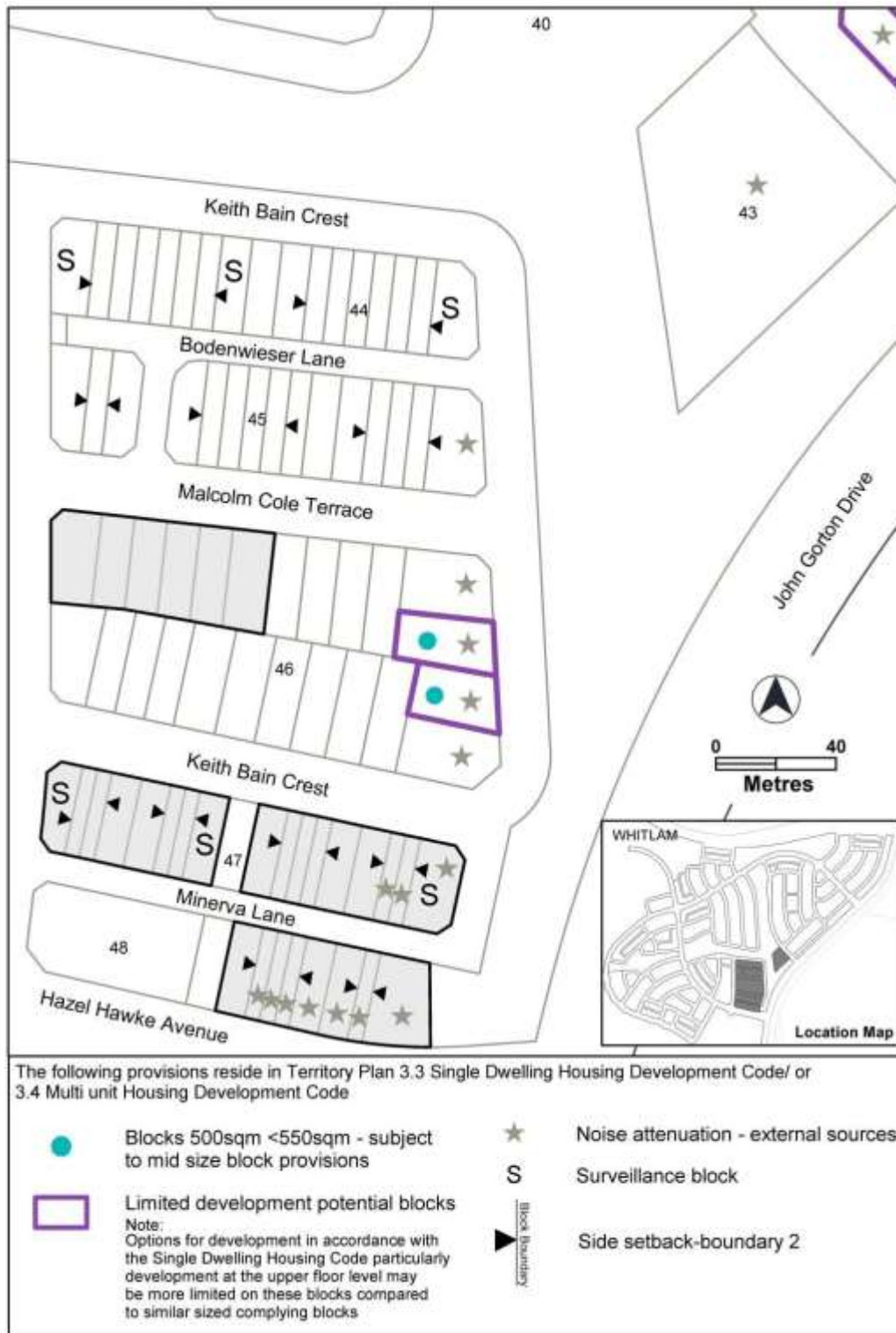


Figure 37 (Wright)

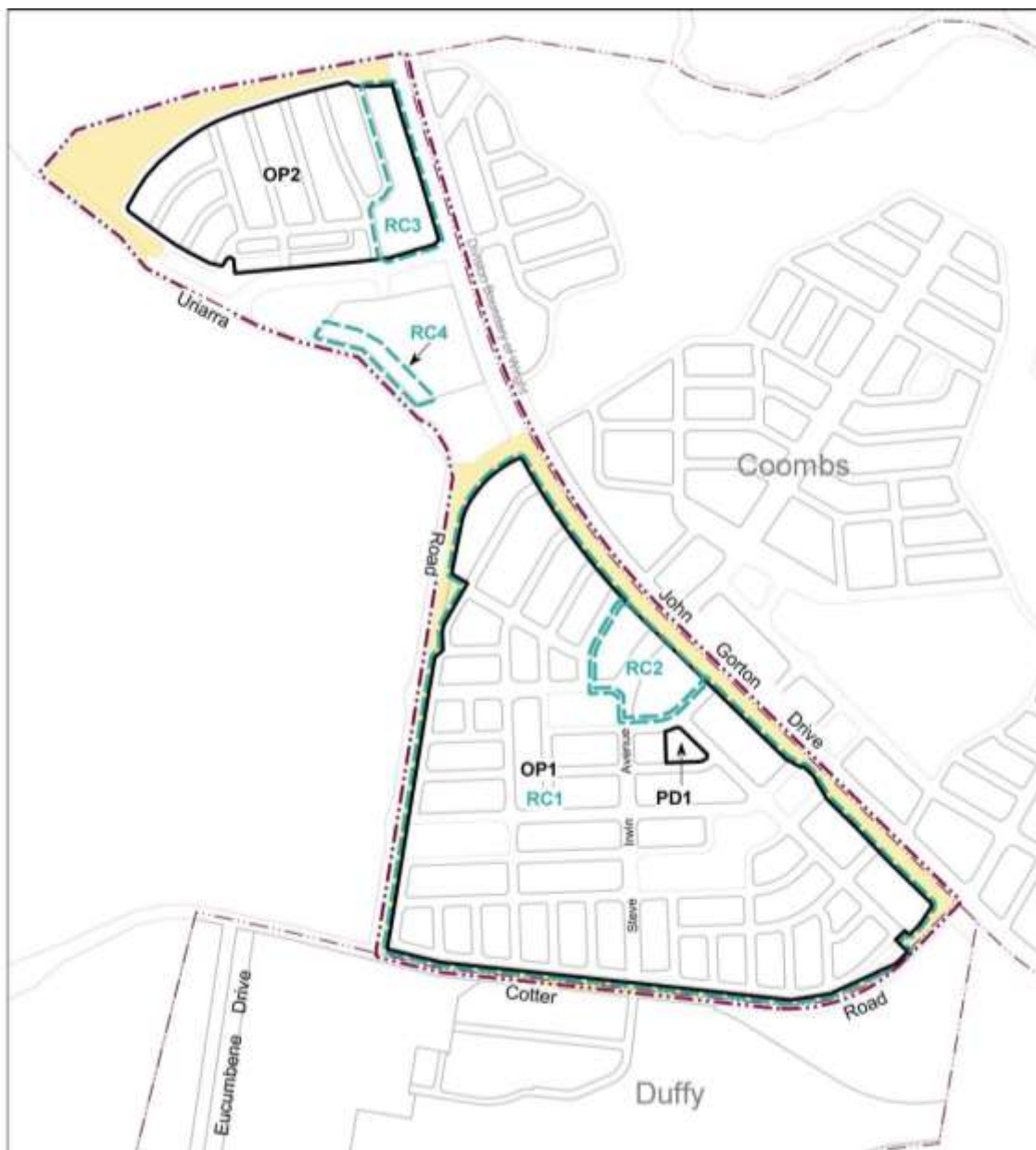


Figure 38 (Wright)

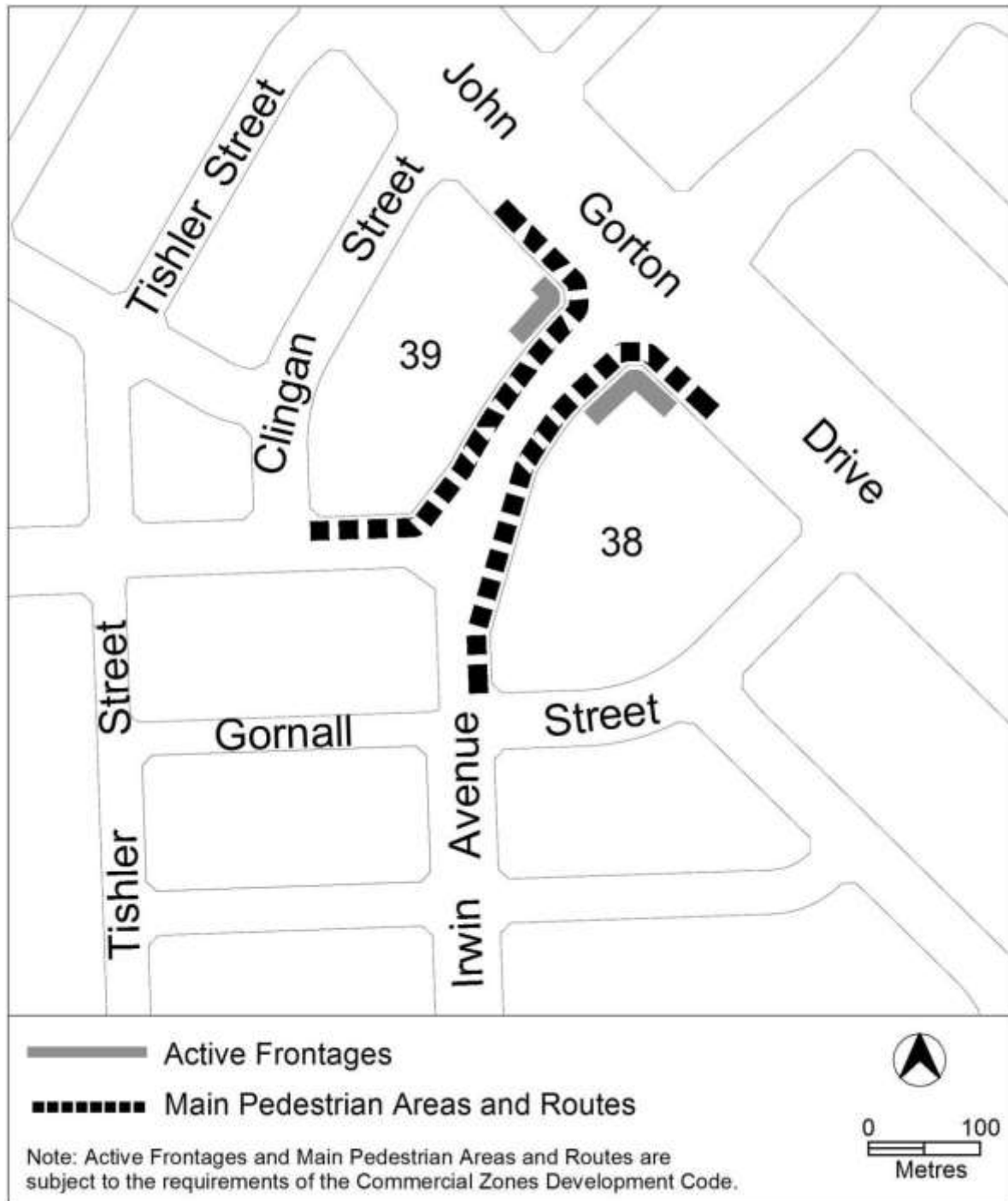


Figure 39 (Wright) – ongoing provisions

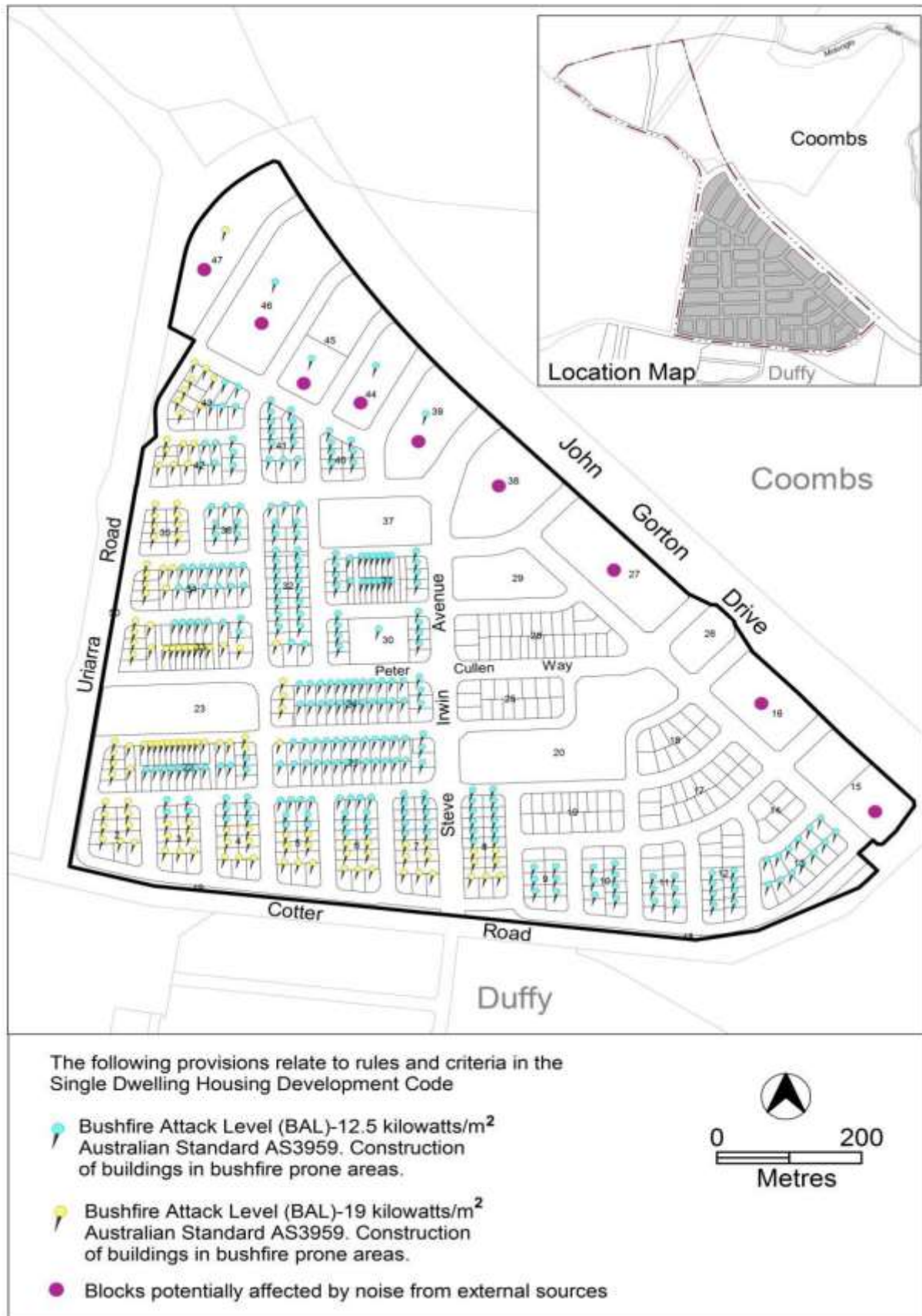


Figure 40 (Wright) - ongoing provi

